

COUNCIL FINAL ASSESSMENT REPORT

PLANNING PANEL

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	2560, 6 Hazeldean Way, AIRDS NSW 2560, 6 Tiverton Way, AIRDS NSW 2560, 6 Willandra Way, AIRDS NSW 2560, 61 Peppin Crescent, AIRDS NSW 2560, 63 Peppin Crescent, AIRDS NSW 2560, 65 Peppin Crescent, AIRDS NSW 2560, 67 Peppin Crescent, AIRDS NSW 2560, 69 Peppin Crescent, AIRDS NSW 2560, 7 Hazeldean Way, AIRDS NSW 2560, 7 Tiverton Way, AIRDS NSW 2560, 7 Willandra Way, AIRDS NSW 2560, 71 Peppin Crescent, AIRDS NSW 2560, 73 Peppin Crescent, AIRDS NSW 2560, 75 Peppin Crescent, AIRDS NSW 2560, 77 Peppin Crescent, AIRDS NSW 2560, 79 Peppin Crescent, AIRDS NSW 2560, 8 Hazeldean Way, AIRDS NSW 2560, 8 Willandra Way, AIRDS NSW 2560, 9 Hazeldean Way, AIRDS NSW 2560, 4 Mungadal Way, AIRDS NSW 2560, 34 Peppin Crescent, AIRDS NSW 2560, 32 Peppin Crescent, AIRDS NSW 2560, 30 Peppin Crescent, AIRDS NSW 2560, 28 Peppin Crescent, AIRDS NSW 2560, Lot 1356 Mungadal Way, AIRDS NSW 2560, 94 Georges River Road, AIRDS NSW 2560
APPLICANT	New South Wales Land and Housing Corporation
OWNER	New South Wales Land and Housing Corporation
DA LODGEMENT DATE	02-Feb-2024
APPLICATION TYPE	CROWN DA
REGIONALLY SIGNIFICANT CRITERIA	Clause (4), Schedule 6 of <i>State Environmental Planning Policy (Planning Systems) 2021: Crown Development over \$5 million</i>
CIV	\$10,795,836 (excluding GST)
KEY SEPP/LEP	State Environmental Planning Policy (biodiversity & Conservation) 2021 State Environmental Planning Policy (Planning Systems) 2021 State Environmental Planning Policy (Resilience & Hazards) 2021 Campbelltown Local Environmental Plan 2015
TOTAL & UNIQUE SUBMISSIONS KEY ISSUES IN SUBMISSIONS	1
DOCUMENTS SUBMITTED FOR CONSIDERATION	Council report, plans, supporting documentation, consent.
RECOMMENDATION	Approval
DRAFT CONDITIONS TO APPLICANT	YES
PLAN VERSION	Version No 1
PREPARED BY	Kha Huynh
DATE OF REPORT	11 July 2025

EXECUTIVE SUMMARY

The redevelopment of the Airds/Bradbury public housing estate is being undertaken by NSW Land and Housing Corporation in accordance with the Airds/Bradbury Urban Renewal Concept Plan granted by the Minister for Planning and Infrastructure on 24 August 2012.

The proposed development include subdivision into 108 residential lots, three (3) residue lots, one (1) lot for open space, land dedicated as roads and associated subdivision works including demolition, excavation works associated with road grading, site benchin, removal of redundant

services, the construction of roads and roadworks, stormwater drainage, utility services, selective tree removal, sediment control, and street landscaping. The proposal is identified as Stage 5 of the Airds/Bradbury public housing estate in accordance with the Airds/Bradbury Urban Renewal Concept Plan.

The application was placed on public exhibition from 21 October 2020 to 18 November 2020, with one (1) submission being received. The submission requested additional information to be provided and the development's impact to the submitter's property. These matters are considered further in this report.

The application is referred to the Sydney South Planning Panel ('the Panel') as the development is '*regionally significant development*', pursuant to Section 2.19(1) and Clause (4) of Schedule 6 of *State Environmental Planning Policy (Planning Systems) 2021* as the proposal is development for *Crown Development* over \$5 million.

A briefing was held with the Panel on 28 October 2024 where key issues were discussed, including biodiversity and conservation noting that further concurrence was sought from the Department of Planning, Housing and Infrastructure whereby a portion of the site was impacted by avoided lands under the State Environmental Planning Policy (Biodiversity & Conservation) 2021. Concurrence was received by the department with adjusted mapping and matters have now been resolved.

Following consideration of the matters for consideration under Section 4.15(1) of the EP&A Act, the provisions of the relevant State environmental planning policies, the proposal be supported.

Following a detailed assessment of the proposal, pursuant to Section 4.16(1)(b) of the EP&A Act, DA 226/2024/DA-SW is recommended for approval subject to the reasons contained at **Attachment A** of this report.

1. THE SITE AND LOCALITY

Stage 5 is located within the north eastern portion of the broader renewal area and is bounded by Georges River Road to the north, Pepping crescent to the south, Mungadal Way to the west, and Canally Reserve to the east.

The subject site is an irregular shaped allotment lot bound by Georges River Road to the north, Pepping crescent to the south, Mungadal Way to the west, and Canally Reserve to the east.



Figure 1: Stage 5.

The proposed development within the area of the concept plan. An excerpt of the concept plan showing the area affected by the proposed subdivision is provided below:



Figure 2 - Excerpt from Concept Plan

The subject site is surrounded by existing residential development and open space areas.

The properties are not listed as an item of environmental heritage and are not located within a heritage conservation area.

2. THE PROPOSAL AND BACKGROUND

2.1 The Proposal

This application seeks approval for subdivision creating 108 residential lots, 3 residue lots, 1 lot for open space, land dedicated as roads and associated subdivision works including demolition, excavation works associated with road grading, site benching, removal of redundant services, the construction of roads and roadworks, stormwater drainage, utility services, selective tree removal, sedimentation control, and street tree landscaping.

The proposal in more detail is to comprise of the following works:

- The subdivision of the ABRP site for the Stage 5 Subdivision to create 112 lots comprising 108 residential lots, 3 residual lots and 1 open space lot;
- Construction of a bio-retention basin adjacent to Canally Reserve;
- Associated subdivision works including:
 - the construction of roads and roadworks;
 - associated drainage; site regrading and retaining works;
 - utility services including services relocation; and
 - landscaping;
- Minor associated works such as the removal of redundant services, sedimentation control, and
- Tree removal and retention works;
- Excavation works associated with road grading and site benching.

The following Torrens title allotment sizes are proposed as a component of the subdivision:

Lot Size (m2)	Number of lots
200 - 299	18
300 - 399	64
400 - 499	14
500 - 1000	12
Total	108



Figure 3 – Proposed Lot Layout

2.2 Background

The development application was lodged on **2 February 2024**. A chronology of the development application since lodgement is outlined below including the Panel's involvement (briefings, deferrals etc) with the application:

3. STATUTORY CONSIDERATIONS

When determining a development application, the consent authority must take into consideration the matters outlined in Section 4.15(1) of the *Environmental Planning and Assessment Act 1979* ('EP&A Act'). These matters as are of relevance to the development application include the following:

- (a) the provisions of any environmental planning instrument, proposed instrument, development control plan, planning agreement and the regulations
 - (i) any environmental planning instrument, and
 - (ii) any proposed instrument that is or has been the subject of public consultation under this Act and that has been notified to the consent authority (unless the Planning Secretary has notified the consent authority that the making of the proposed instrument has been deferred indefinitely or has not been approved), and
 - (iii) any development control plan, and
 - (iiia) any planning agreement that has been entered into under section 7.4, or any draft planning agreement that a developer has offered to enter into under section 7.4, and
 - (iv) the regulations (to the extent that they prescribe matters for the purposes of this paragraph), that apply to the land to which the development application relates,
- (b) the likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality,
- (c) the suitability of the site for the development,

- (d) any submissions made in accordance with this Act or the regulations,
- (e) the public interest.

These matters are further considered below.

It is noted that the proposal is considered to be a Crown development application under section 4.33 of the Environmental Planning and Assessment Act 1979 and written agreement has been obtained from the Crown on 11 July 2025.

3.1 Environmental Planning Instruments, proposed instrument, development control plan, planning agreement and the regulations

The relevant environmental planning instruments, proposed instruments, development control plans, planning agreements and the matters for consideration under the Regulation are considered below.

(a) Section 4.15(1)(a)(i) - Provisions of Environmental Planning Instruments

The following Environmental Planning Instruments are relevant to this application:

- State Environmental Planning Policy (Biodiversity and Conservation) 2021
- State Environmental Planning Policy (Planning Systems) 2021
- State Environmental Planning Policy (Resilience and Hazards) 2021
- Campbelltown Local Environmental Plan 2015;

A summary of the key matters for consideration arising from these State Environmental Planning Policies are outlined in **Table 3** and considered in more detail below.

Table : Summary of Applicable Environmental Planning Instruments

EPI	Matters for Consideration	Comply (Y/N)
State Environmental Planning Policy (Biodiversity & Conservation) 2021	Chapter 3: Koala Habitat Protection 2020 Chapter 11: Georges River Catchment	Yes
State Environmental Planning Policy (Planning Systems) 2021	Chapter 2: State and Regional Development <ul style="list-style-type: none"> Section 2.19(1) declares the proposal regionally significant development pursuant to Clause 4 of Schedule 6 as it comprises Crown development over \$5 million. 	Yes
State Environmental Planning Policy (Resilience & Hazards)	Chapter 4: Remediation of Land <ul style="list-style-type: none"> Section 4.6 - Contamination and remediation has been considered in the Contamination Report and the proposal is satisfactory subject to conditions. 	Yes
Campbelltown Local Environmental Plan 2015	<ul style="list-style-type: none"> Clause 2.6 - Subdivision - consent requirements Clause 4.1 - Minimum subdivision lot size Clause 5.10 - Heritage conservation Clause 7.1 - Earthworks Clause 7.10 - Essential services 	Yes

EPI	Matters for Consideration	Comply (Y/N)
Campbelltown (Sustainable City) Development Control Plan 2015	<ul style="list-style-type: none"> • Part 2 – Requirements Applying to All Types of Development • Part 3 – Low and Medium Density Residential Development and Ancillary Residential Structures • Volume 2: Site Specific DCPs: Part 9 – Urban Renewal Areas Airds Claymore 	Yes

Consideration of the relevant SEPPs is outlined below.

State Environmental Planning Policy (Biodiversity and Conservation) 2021

Chapter 11 Georges River Catchment

The proposal falls within the Georges River Catchment and thus this policy applies. The general aims and objectives of this plan are as follows:

Clause 11.4 Aims and Objectives

- a. *to maintain and improve the water quality and river flows of the Georges River and its tributaries and ensure that development is managed in a manner that is in keeping with the national, State, regional and local significance of the Catchment,*
- b. *to protect and enhance the environmental quality of the Catchment for the benefit of all users through the management and use of the resources in the Catchment in an ecologically sustainable manner,*
- c. *to ensure consistency with local environmental plans and also in the delivery of the principles of ecologically sustainable development in the assessment of development within the Catchment where there is potential to impact adversely on groundwater and on the water quality and river flows within the Georges River or its tributaries,*
- d. *to establish a consistent and coordinated approach to environmental planning and assessment for land along the Georges River and its tributaries and to promote integrated catchment management policies and programs in the planning and management of the Catchment,*
- e. *to provide a mechanism that assists in achieving the water quality objectives and river flow objectives agreed under the Water Reform Package.*

The proposal does not conflict with any of the relevant provisions and is therefore considered to be acceptable.

8.5 State Environmental Planning Policy (Biodiversity and Conservation) 2021 Chapter 3 Koala Habitat Protection 2020

Clause 3.1 Aims of this Chapter:

This Chapter aims to encourage the proper conservation and management of areas of natural vegetation that provide habitat for koalas to ensure a permanent free-living population over their present range and reverse the current trend of koala population decline—

- a. by requiring the preparation of plans of management before development consent can be granted in relation to areas of core koala habitat, and*
- b. by encouraging the identification of areas of core koala habitat, and*
- c. by encouraging the inclusion of areas of core koala habitat in environment protection zones.*

The Flora and Fauna Assessment Airds Bradbury Renewal Project – Stage 5 Redevelopment prepared by Cumberland Ecology dated 18 March 2025 noted as follows;

Conclusion

The DA will impact on habitat mapped as 'Core Koala Habitat' by the Campbelltown CKPoM. The proposal will remove 463 trees, 69 of which are (p)KFTs as identified by the CKPoM. Therefore, the proposal is classified as a "Major Development" subsequently requiring compensatory measures. However, no compensatory measures under the CKPoM are required as the removal of vegetation within the subject site has already been compensated for under the Bushland Management Plan and Voluntary Planning Agreement prepared at the Concept Plan Approval stage.

Approval of this development application for Stage 5 of the Airds Bradbury Urban Renewal Project is unlikely to result in a significant impact on any threatened species, populations of EECs or their habitats given the impacts have already been considered as part of the concept plan process.

The application is consistent with the biodiversity offset strategy for the renewal project and the supporting bushland management plan as adopted with the concept plan approval. Council's Environmental Specialist has undertaken review of the relevant documents and imposed conditions of consent.

State Environmental Planning Policy (Planning Systems) 2021 ('Planning Systems SEPP')

Chapter 2: State and Regional Development

The proposal is *regionally significant development* pursuant to Section 2.19(1) as it is defined regionally significant development under the criteria in Clause 4 of Schedule 6 of the Planning Systems SEPP as the proposal is development carried out on behalf of the Crown and has an estimated development cost of more than \$5 million. Accordingly, the South Western City Panel is the consent authority for the application. The proposal is consistent with this Policy.

State Environmental Planning Policy (Resilience and Hazards) 2021

Chapter 4: Remediation of Land

The provisions of Chapter 4 of *State Environmental Planning Policy (Resilience and Hazards) 2021 ('the Resilience and Hazards SEPP')* have been considered in the assessment of the development application. Section 4.6 of Resilience and Hazards SEPP requires consent authorities to consider whether the land is contaminated, and if the land is contaminated, it is

satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the purpose for which the development is proposed to be carried out.

Clause 4.1 Object of this Chapter:

- (1) *The object of this Policy is to provide for a State-wide planning approach to the remediation of contaminated land.*
- (2) *In particular, this Policy aims to promote the remediation of contaminated land for the purpose of reducing the risk of harm to human health or any other aspect of the environment:*
 - a. *by specifying when consent is required, and when it is not required, for a remediation work, and*
 - b. *by specifying certain considerations that are relevant in rezoning land and in determining development applications in general and development applications for consent to carry out a remediation work in particular, and*
 - c. *by requiring that remediation work meet certain standards and notification requirements.*

A Remedial Action Plan was undertaken for the Stage 5 by JB&G Australia Pty Ltd, dated 4 November 2021. The report concludes:

"Following demolition of remaining structures at the site and additional investigations, further soil contamination (e.g. asbestos and/or heavy metals) are to be expected within building footprints associated with incomplete demolition practices and within uncontrolled fill across the site. The latter is likely limited to areas where previous filling/levelling activities occurred.

Nevertheless, based on the existing data, and subject to undertaking the pre-remediation data gap assessment, this document presents a RAP that outlines the principles of remedial works and validation required for the assumed contamination at the site, that when completed, will make and demonstrate that the site has been made suitable for the intended land uses.

Subject to the successful implementation of the measures detailed in this RAP and subject to the limitations in Section 14, it is considered the site can be made suitable for the proposed land use."

The Remedial Action Plan was reviewed by Council's Environmental Specialist who has agreed with the outcomes of the report. Council's Environmental Specialist has recommended conditions which have been included within the consent. Council is satisfied that the requirements of the SEPP have been met.

State Environmental Planning Policy (Transport and Infrastructure) 2021

Clause 2.119 of *State Environmental Planning Policy (Transport and Infrastructure) 2021* sets out provisions relating to the impacts of road noise or vibration on non-road development. The proposed land use is not identified in Clause 2.119.

Clause 2.121 of the SEPP sets out provisions relating to traffic generating development. It is noted, that referral to Transport for NSW is not required, as the proposal is not traffic-generating development. The proposed development does not trigger the threshold for traffic generating development as the subdivision is less than 200 allotments and the connection to the site is not within 90m of a connection with a classified road.

A Traffic and Access Assessment Report prepared by Positive Traffic Engineering & Planning supported the proposal and concluded as follows:

1. *The traffic impacts of the development would be minimal with future traffic flows on surrounding roads within acceptable limits.*
2. *Intersections surrounding the development would continue to operate at levels of service to that which currently occurs following full development of the Airds / Bradbury precincts.*
3. *The proposed design of the internal roads complies with the minimum requirements of the AECOM report and are considered satisfactory.*

Overall the potential traffic impacts of the proposed residential subdivision are considered acceptable.

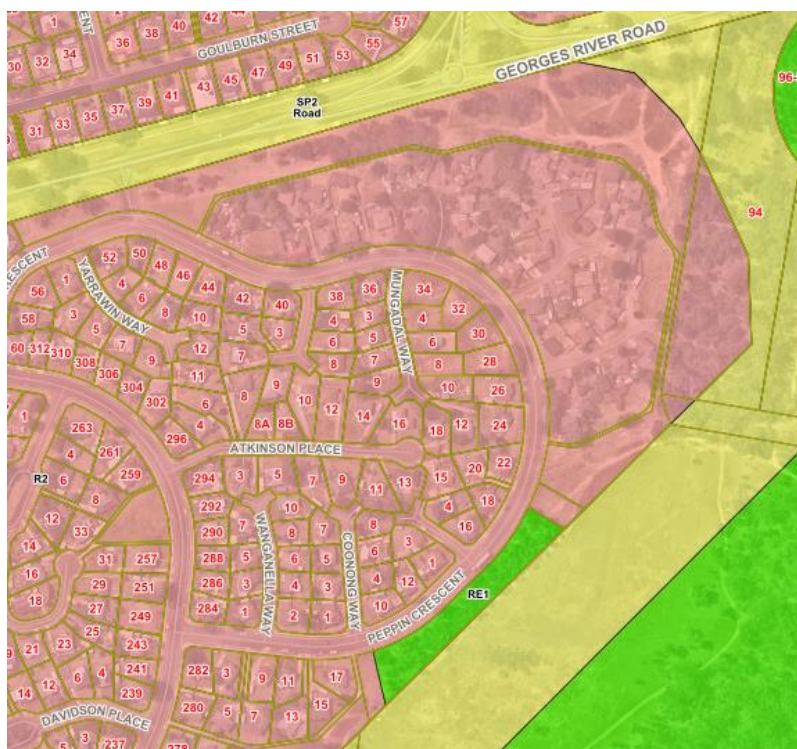
The above findings are noted and were forwarded to Council's Traffic Engineer for review and considered satisfactory.

Campbelltown Local Environmental Plan 2015

The relevant local environmental plan applying to the site is the *Campbelltown Local Environmental Plan 2015* ('the LEP'). The aims of the LEP ensures that diverse housing opportunities are provided, including those that accord with urban consolidation principles for all existing and future residents of Campbelltown in all stages of their lives and to encourage high-quality, well-designed development, that is of an appropriate design and scale to complement its setting and that enhances and encourages a safe and healthy environment. The proposal is consistent with these aims.

Zoning and Permissibility (Part 2)

The site is located within the R2 Low Density Residential Zone pursuant to Clause 2.2 of the LEP.



According to the definitions in Clause 4 (contained in the Dictionary), the proposal satisfies the definition of subdivision and associated works which is a permissible use with consent in the Land Use Table in Clause 2.3.

The zone objectives include the following (pursuant to the Land Use Table in Clause 2.3):

- To provide for the housing needs of the community within a low density residential environments.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.
- To enable development for purpose other than residential only if that development is compatible with the character of the living area and is of a domestic scale.
- To minimise overshadowing and ensure a desired level of solar access to all properties.
- To facilitate diverse and sustainable means of access and movement.

The proposal is considered to be consistent with the zone objectives as the resulting subdivision lots will provide for the housing needs of the community and the associated works will contribute to providing services to meet the day to day needs of the residents.

General Controls and Development Standards (Part 2, 4, 5 and 6)

The LEP also contains controls relating to development standards, miscellaneous provisions and local provisions. The controls relevant to the proposal are considered in **Table 4** below.

Table : Consideration of the LEP Controls

Control	Requirement	Proposal	Comply
Subdivision consent requirements (CI 2.6(1))	Land to which this Plan applies may be subdivided, but only with development consent	The proposal includes subdivision into 108 residential lots, 3 residue lots, 1 lot for open space, land dedicated as roads and associated subdivision works.	Yes
Minimum subdivision Lot size (CI 4.1)	500m ²	The proposed lot sizes range from 272sqm to 821sqm, however is permissible under the <i>Airds Bradbury Urban Renewal Development Control Guidelines</i> and <i>Claymore Urban Renewal Development control Guidelines</i> . Development assessment against these policies provided within this report.	Yes
Heritage (CI 5.10)	<p>Requirement for consent Development consent is required for any of the following –</p> <p>...</p> <p>(f) Subdividing land –</p> <p>(i) on which a heritage item is located or that is within a heritage conservation area, or</p> <p>(ii) on which an Aboriginal object is located or that is within an Aboriginal place of heritage significance.</p>	<p>The site does not contain a heritage item or located within a heritage conservation area.</p> <p>Additionally, the proposal is support by a Preliminary Aboriginal Heritage assessment prepared by Extent Heritage Advisors. The report concludes that “no Aboriginal objects or area of archaeological potential have been identified within the Stage 5 development area”. The proposed development is considered to satisfy the considerations of Clause 5.10 of the CELP 2015.</p>	Yes
Earthworks (CI 7.1)	<p>In deciding whether to grant development consent for earthworks (or for development involving ancillary earthworks), the consent authority must consider the following matters—</p> <p>(a) the likely disruption of, or any detrimental effect on, drainage patterns and soil stability in the locality of the development,</p> <p>(b) the effect of the development on the likely</p>	The proposal includes earthworks to facilitate the construction of a road and associated infrastructure works. The proposed earthworks are considered to satisfy the considerations of Clause 7.1 of the CLEP 2015.	Yes

Control	Requirement	Proposal	Comply
	<p>future use or redevelopment of the land,</p> <p>(c) the quality of the fill or the soil to be excavated, or both,</p> <p>(d) the effect of the development on the existing and likely amenity of adjoining properties,</p> <p>(e) the source of any fill material and the destination of any excavated material,</p> <p>(f) the likelihood of disturbing relics,</p> <p>(g) the proximity to, and potential for adverse impacts on, any waterway, drinking water catchment or environmentally sensitive area,</p> <p>(h) any appropriate measures proposed to avoid, minimise or mitigate the impacts of the development.</p>		
Essential Services (CI 7.10)	<p>Development consent must not be granted to development unless the consent authority is satisfied that any of the following services that are essential for the proposed development are available or that adequate arrangements have been made to make them available when required:</p> <p>(a) the supply of water,</p> <p>(b) the supply of electricity,</p> <p>(c) the disposal and management of sewage,</p> <p>(d) stormwater drainage or on-site conservation,</p> <p>(e) suitable road and vehicular access,</p> <p>(f) telecommunication services,</p> <p>(g) the supply of natural gas.</p>	The civil works proposed include the provision of utility services to the site and future allotments.	Yes

The proposal is considered to be generally consistent with the LEP.

(b) Section 4.15(1)(a)(ii) – Provisions of any Proposed Instruments

There are no proposed instruments which have been the subject of public consultation under the EP&A Act that are relevant to the proposal.

(c) Section 4.15(1)(a)(iii) – Provisions of any Development Control Plan

The following Development Control Plan is relevant to this application:

- *Campbelltown (Sustainable City) Development Control Plan 2015* ('the DCP')

The proposed development is generally compliant with the requirements of Council's Sustainable City Development Control Plan 2015 and a detailed assessment of the relevant controls have been provided within the attachments.

(d) Section 4.15(1)(a)(iia) – Planning agreements under Section 7.4 of the EP&A Act

The following planning agreement/s has been entered into under Section 7.4 of the EP&A Act:

- **Airds Bradbury Voluntary Planning Agreement**

The owner of the site and the Minister for Planning and Public Spaces have executed a State Voluntary Planning Agreement (SVPA) for the Site on 19 November 2014.

The proposal is consistent with this Planning Agreement as discussed in this report.

(e) Section 4.15(1)(a)(iv) – Provisions of Regulations

Section 61 of the 2021 EP&A Regulation contains matters that must be taken into consideration by a consent authority in determining a development application, If on land subject to subdivision order under Schedule 7, the consent authority must consider:

*"(a) the subdivision order, and
(b) any development plan prepared for the land by a relevant authority under that Schedule."*

An assessment has been undertaken within this report. These provisions of the 2021 EP&A Regulation have been considered and are addressed in the recommended draft conditions (where necessary).

3.2 Section 4.15(1)(b) – Likely Impacts of Development

The likely impacts of that development, including environmental impacts on both the natural and built environments, and social and economic impacts in the locality must be considered. In this regard, potential impacts related to the proposal have been considered in response to SEPPs, LEP and DCP controls outlined above and the Key Issues section below.

- Stormwater impacts
- Construction impacts
- Social & economic impacts
- Tree removal

The consideration of impacts on the natural and built environments includes the following:

Stormwater Impacts

The Stage 5 DA is located within an established urban area, measures are proposed to manage stormwater quality and quantity during construction and operation. This includes improvements in stormwater treatment and management on the site. The site will be fully serviced and existing services upgraded or replaced as required.

Council's Development Engineer reviewed the stormwater and supports the development subject to recommended conditions of development consent.

Construction Impacts

A condition of development consent has been recommended for a Construction Traffic Management Plan to be prepared prior to the commencement of any works in line with the applicant's commitment.

The proposal includes several erosion and sediment control measures that will seek to alleviate any nuisance to any residents as well as the surrounding road network.

Social and Economic Impacts

The proposed subdivision will facilitate future residential development of the land to provide for the housing needs of the community, which will in effect provide tangible social and economic benefits.

Socially, the proposal will deliver vacant residential allotments that will facilitate an increase of housing supply and help to improve housing choice and affordability within the locality. The proposed development will also facilitate an active and passive recreation area that will promote social interactions and passive surveillance.

Economically, the proposal will be beneficial to the overall local economy with workers being employed during the construction phase of the development and future residents spending in the local economy once the allotments comprise dwelling houses.

Accordingly, it is considered that the proposal will not result in any significant adverse impacts in the locality as outlined above.

3.3 Section 4.15(1)(c) - Suitability of the site

The site is considered suitable for the proposed residential subdivision and associated works. The land is mapped as an urban release area and has been zoned to provide for future residential development.

The proposed dimensions, areas and orientation of the allotments are adequate to facilitate the siting, design and construction of future residential development.

The land once subdivided will contribute positively to the desired future character of the locality by enabling the construction of future dwellings within the residential zone.

3.4 Section 4.15(1)(d) - Public Submissions

The application was placed on public exhibition from 21 October 2020 to 18 November 2020, with one (1) submission being received. The submission requested additional information to be provided and the development's impact to the submitter's property. These matters are considered further in this report in Section 5.

3.5 Section 4.15(1)(e) - Public interest

The proposed development has addressed the requirements of the relevant planning instruments and development controls including the objectives of the zone. The proposal has demonstrated that the site is suitable for the proposed development.

Council is satisfied that the proposal is in the interest of the public.

4. REFERRALS AND SUBMISSIONS

4.1 Agency Referrals and Concurrence

The development application has been referred to various agencies for comment/concurrence/referral as required by the EP&A Act and outlined below in Table 5.

Table : Concurrence and Referrals to agencies

Agency	Concurrence/ referral trigger	Comments (Issue, resolution, conditions)	Resolved
Concurrence Requirements (s4.13 of EP&A Act)			
N/A			
Referral/Consultation Agencies			
Department of Climate Change, Energy, the Environment and Water	S90 – Aboriginal heritage impact permits	The Department of Climate Change, Energy, the Environment and Water has issued letter (DOC24/147883) confirming that <i>“since there are no known Aboriginal objects on the subject site, the development is not integrated for the purposes of the National Parks and Wildlife Act 1974 and we cannot provide general terms of approval”</i> .	Yes
Integrated Development (S 4.46 of the EP&A Act)			
RFS	S100B – <i>Rural Fires Act 1997</i> bush fire safety of subdivision of land that could lawfully be used for residential or rural residential purposes or development of land for special fire protection purposes	<p>The site is bushfire impacted which is likely to impact upon the development. The proposal has provided a Bushfire Protection Assessment prepared by Travers Bushfire & Ecology dated 28 September 2023. The report concludes:</p> <p><i>“This assessment has found that bushfire can potentially affect the proposed development from the extensive bushland vegetation surrounding the development resulting in future buildings being exposed to potential radiant heat and ember attack”</i></p> <p>The report provides bushfire measures in which concurrence has been provided by the Rural Fire Service. A General Terms of Approval (DA20240519002036-Original-1) has been issued for the development.</p> <p>A condition of consent has been included in the consent.</p>	Yes

4.2 Council Officer Referrals

The development application has been referred to various Council officers for technical review as outlined **Table 6**.

Table : Consideration of Council Referrals

Officer	Comments	Resolved
Engineering	Council's Engineering Officer reviewed the submitted civil plans and considered that there were no objections subject to conditions.	Yes
Traffic	Council's Traffic Engineering Officer reviewed the proposal and considered that there were no objections subject to conditions.	Yes
Environment	Council's Environmental Specialist reviewed the proposal and supporting documentation and considered that there were no objections subject to conditions.	Yes
Open Space	Council's Landscape Architect reviewed the submitted civil plans and considered that there were no objections subject to conditions.	Yes

The outstanding issues raised by Council officers are considered in the Key Issues section of this report.

4.3 Community Consultation

The proposal was notified in accordance with the Council's Community Participation Plan from 20 February to 21 March 2024. The notification included the following:

- A sign placed on the site;
- Notification on a website;
- Notification letters sent to adjoining and adjacent properties (approx. 115 letters);
- Notification on the Council's website.

The Council received a total of 1 unique submission, and summary of objections have been provided in the below table.

Table : Community Submissions

Issue	No of submissions	Council Comments
<p>Additional Information</p> <p>Potential impacts of the development on objectors' property</p>	<p>1</p>	<p>The application proposes subdivision creating 108 residential lots, 3 residue lots, 1 lot for open space, land dedicated as roads and associated subdivision works including demolition, excavation works associated with road grading, site benching, removal of redundant services, the construction of roads and roadworks, stormwater drainage, utility services, selective tree removal, sedimentation control, and street tree landscaping.</p> <p>The objector's property is located outside of the of the subject site. The proposed development will have increased impacts from construction in the short term. Conditions have been included within the consent to ensure that potential impacts from construction are minimised.</p> <p>The proposed development in the long term will provide improved amenities for the surrounding the developments.</p>

5. CONCLUSION

This development application has been considered in accordance with the requirements of the EP&A Act and the Regulations as outlined in this report. Following a thorough assessment of the relevant planning controls, issues raised in submissions and the key issues identified in this report, it is considered that the application can be supported.

The continued redevelopment of the Airds/Bradbury public housing estate is anticipated to have positive social and economic impacts for the immediate locality and the wider community due to the provision of improved housing in a renewed urban environment.

It is considered that the key issues as outlined in Section 6 have been resolved satisfactorily through amendments to the proposal and/or in the recommended draft conditions at **Attachment A**.

6. RECOMMENDATION

That the Development Application [DA No 226/2024/DA-SW] for subdivision into 108 residential lots, three (3) residue lots, one (1) lot for open space, land dedicated as roads and associated subdivision works including demolition, excavation works associated with road grading, site benching, removal of redundant services, the construction of roads and roadworks, stormwater drainage, utility services, selective tree removal, sedimentation control, and street landscaping on land associated with Stage 5 Airds be APPROVED pursuant to Section 4.16(1)(a) of the *Environmental Planning and Assessment Act 1979* subject to the draft conditions of consent at Attachment A.

The following attachments are provided:

- Attachment A: Draft Conditions of consent
- Attachment B: Approval from the Crown (applicant) for imposition of Conditions
- Attachment C: Tables of Compliance
- Attachment D: Associated Plans

Attachment A: Draft Conditions of consent

GENERAL CONDITIONS

1.

Approved plans and supporting documentation

Development must be carried out in accordance with the following approved plans and documents, except where the conditions of this consent expressly require otherwise.

Approved plans				
Plan no.	Revision no.	Plan title	Drawn by	Date of plan
300178185.05.P01	02	Airds/Bradbury Renewal – Stage 5 Proposed Plan of Subdivision Sheet 1 of 2	SMEC	25.09.2024
300178185.05.P01	02	Airds/Bradbury Renewal – Stage 5 Proposed Plan of Subdivision Sheet 2 of 2	SMEC	25.09.2024
300178185.5.DA001	02	Locality Plan	SMEC	N/A
300178185.5.DA002	03	Sheet Schedule & Notes	SMEC	04/03/2025
300178185.5.DA011	02	Demolition Plan	SMEC	04/12/2024
300178185.5.DA012	02	Existing Services Plan	SMEC	04/12/2024
300178185.5.DA031	02	General Arrangement Plan	SMEC	04/12/2024
300178185.5.DA032	02	Road Hierarchy Plan	SMEC	04/12/2024
300178185.5.DA033	01	External Extents Plan	SMEC	04/12/2024
300178185.5.DA041	02	Typical Road Cross Sections Sheet 1	SMEC	04/12/2024
300178185.5.DA042	02	Typical Road Cross Section Sheet 2	SMEC	04/12/2024
300178185.5.DA051	02	Cut and Fill Plan	SMEC	04/12/2024
300178185.5.DA052	02	Contamination Cells Plan	SMEC	04/12/2024
300178185.5.DA101	02	Civil Works Plan Sheet 1	SMEC	04/12/2024
300178185.5.DA102	03	Civil Works Plan Sheet 2	SMEC	11/06/2025
300178185.5.DA103	02	Civil Works	SMEC	04/12/2024

			Plan Sheet 3		
	300178185.5.DA201	02	Road Longitudinal Sections Sheet 1	SMEC	04/12/2024
	300178185.5.DA202	02	Road Longitudinal Sections Sheet 2	SMEC	04/12/2024
	300178185.5.DA203	02	Road Longitudinal Sections Sheet 3	SMEC	04/12/2024
	300178185.5.DA351	02	Pavement Plan	SMEC	04/12/2024
	300178185.5.DA501	02	Drainage Catchment Plan	SMEC	04/12/2024
	300178185.5.DA551	02	Bio-retention Basin Plan and Section	SMEC	04/12/2024
	300178185.5.DA651	02	Retaining Wall Details	SMEC	04/12/2024
	300178185.5.DA801	02	Signage and Line Marking Plan	SMEC	04/12/2024
	300178185.5.DA811	02	Turning Paths Plan Sheet 1	SMEC	04/12/2024
	300178185.5.DA812	02	Turning Paths Plan Sheet 2	SMEC	04/12/2024
	300178185.5.DA813	02	Turning Paths Plan Sheet 3	SMEC	04/12/2024
	300178185.5.DA814	02	Turning Paths Plan Sheet 4	SMEC	04/12/2024
	300178185.5.DA815	01	Turning Paths Plan Sheet 5	SMEC	04/03/2025
	300178185.5.DA851	02	Soil & Water Management Plan	SMEC	04/12/2024
	300178185.5.DA861	02	Soil & Water Management Details	SMEC	04/12/2024
	L01	C	Title Sheet	JMD Design	03.07.25
	L02	B	Street Tree Hierarchy Masterplan	JMD Design	31.05.24
	L03	A	Streetscape Plan 01	JMD Design	16.01.24
	L04	B	Streetscape Plan 02	JMD Design	03.07.25
	L05	A	Streetscape	JMD Design	16.01.24

			Sections		
	L06	A	Material & Street Tree Planting Palette	JMD Design	16.01.24
	L07	A	Indicative Mass Planting Schedule	JMD Design	31.05.24
Approved documents					
	Document title	Version no.	Prepared by	Date of document	
	Contamination Assessment Stage 5A Airs Bradbury Renewal Project Peppin Crescent, Airs, NSW Ref:59958-140565	A	JBS&G	4 November 2021	
	Contamination Site Assessment Stage 5B Airs Bradbury Renewal Project, NSW Ref: 59958-141625	A	JBS&G	2 December 2021	
	Remedial Action Plan Stage 5 Airs Bradbury Renewal Project, NSW Ref: 59958/151,763	1	JBS&G	30 November 2023	
	Salinity Assessment Management Plan Stage 5A Airs Bradbury Renewal Project Airs, NSW Ref: 59958/141255	A	JBS&G	4 November 2021	
	Bushfire Protection Assessment Ref: 18CARD04.2	N/A	Travers Bushfire & Ecology	28 September 2023	
	DA Acoustic Assessment	2	Renzo Tonin & Associates	15 August 2023	
	Preliminary Aboriginal Heritage Assessment Project No.: SYD18039	3	Extent Heritage Pty Ltd	15 February 2023	
	Flora and Fauna Assessment Report No.: 24020RP4	6	Cumberland Ecology	18 March 2025	
	Claymore & Airs Bradbury Renewal Results of Geotechnical Investigation Airs Stage 5A Ref: PSM4258-012L	N/A	PSM	20 October 2021	

	Claymore & Airds Bradbury Renewal Results of Geotechnical Investigation Airds Stage 5B Ref: PSM4258-013L	N/A	PSM	20 October 2021
	Arboricultural Impact Assessment Airds Stage 5	N/A	Arborsaw	October 2023
	<p>In the event of any inconsistency with the approved plans and a condition of this consent, the condition prevails.</p> <p><i>Condition reason: To ensure all parties are aware of the approved plans and supporting documentation that applies to the development.</i></p> <p style="text-align: right;">D.01.101.D</p>			
2.	<p>Landscaping</p> <p>The provision and maintenance of landscaping shall be in accordance with the approved landscape plan containing Council's approved development stamp including the engagement of a suitably qualified landscape consultant/ contractor for landscaping works. The landscape design shall incorporate a significant portion of native, low water demand plants consistent with BASIX requirements.</p> <p><i>Condition reason: To provide for planting that will enhance the natural and built environment.</i></p> <p style="text-align: right;">D01.06</p>			
3.	<p>Lighting</p> <p>Illumination of the site is to be arranged to provide an appropriate level of lighting and in accordance with the requirements of <i>Australian Standard 4282 (as amended)</i> so as not to impact upon the amenity of the occupants of adjoining and nearby residential premises or traffic.</p> <p><i>Condition reason: To ensure lighting is operated in a manner that protects the amenity of the local area.</i></p> <p style="text-align: right;">D01.18</p>			
4.	<p>Engineering design works</p> <p>The design of all engineering works shall be carried out in accordance with the requirements set out in Council's 'Engineering Design Guide for Development' (as amended) and the applicable development control plan.</p> <p><i>Condition reason: To comply with Council requirements for engineering works.</i></p> <p style="text-align: right;">D01.44</p>			
5.	<p>Subdivision Works Certificate</p> <p>Before commencement of any works that require a subdivision works certificate:</p> <ol style="list-style-type: none"> the applicant shall appoint a principal certifier; and when Council is not the principal certifier, the appointed principal certifier shall notify Council of their appointment no less than two days before the commencement of any works. <p><i>Condition reason: To comply with legislation.</i></p>			

	D01.54
6.	<p>Vegetation Protection</p> <p>The protection of Vegetation on site is to be undertaken as set out in Section 5.1.1 of the Flora and Fauna Assessment Airds Bradbury Renewal Project - Stage 5 Redevelopment by Cumberland Ecology dated 18 March 2025.</p> <p><i>Condition reason: To minimise impact to flora and fauna.</i></p> <p>D01.999</p>
7.	<p>Erosion, Sedimentation and Pollution Control</p> <p>The Erosion, sedimentation and Pollution control activities on site are to be undertaken as set out in Section 5.1.2 of the Flora and Fauna Assessment Airds Bradbury Renewal Project - Stage 5 Redevelopment by Cumberland Ecology dated 18 March 2025.</p> <p><i>Condition reason: To minimise impacts to flora and fauna.</i></p> <p>D01.999</p>
8.	<p>Pre-clearing and Clearing Surveys</p> <p>The Pre-clearing and Clearing Surveys are to be undertaken on site as set out in Section 5.1.3 of the Flora and Fauna Assessment Airds Bradbury Renewal Project - Stage 5 Redevelopment by Cumberland Ecology dated 18 March 2025.</p> <p><i>Condition reason: To minimise impact to flora and fauna.</i></p> <p>D01.999</p>
9.	<p>Weed Control Measures</p> <p>Weed Control Measures are to be undertaken on site as set out in Section 5.1.4 of the Flora and Fauna Assessment Airds Bradbury Renewal Project - Stage 5 Redevelopment by Cumberland Ecology dated 18 March 2025.</p> <p><i>Condition reason: To minimise flora and fauna impacts.</i></p> <p>D01.999</p>
10.	<p>Concept Plan Approval</p> <p>The development is to be generally consistent with the Terms of the Ministers Concept Plan Approval, that applies to the subject land.</p> <p><i>Condition reason: To comply with legislation.</i></p> <p>D01.999</p>
11.	<p>Voluntary Planning Agreement</p> <p>The development must be consistent with the requirements of the Airds Bradbury Renewal Project Planning Agreement that applies to the land. The provision and timing of infrastructure as detailed in the Airds Bradbury Renewal Project Planning Agreement between New South Wales Land and Housing Corporation (NSW LAHC) and Campbelltown City Council (CCC) dated November 2014, or as amended or otherwise agreed by the parties, must be undertaken by the Applicant in accordance with that Agreement throughout the Agreement's operation.</p> <p><i>Condition reason: To comply with legislation.</i></p> <p>D01.999</p>

12.	<p>NSW Rural Fire Service – General Terms of Approval</p> <p>The development shall comply with the general terms of approval issued by the NSW Rural Fire Service dated Thursday 24 October 2024, referenced as DA22202240519002036-Original-1 (CNR-66021).</p> <p><i>Condition reason: To comply with legislation.</i></p> <p style="text-align: right;">D01.999</p>
13.	<p>Boundary of Works</p> <p>No works are permitted to occur outside of the limit of works shown on the approved plans.</p> <p>Prior to the commencement of works, the boundary of the limit of works must be appropriately demarcated via appropriate fencing and signage.</p> <p><i>Condition reason: To comply with Council's requirements.</i></p> <p style="text-align: right;">D01.999</p>
14.	<p>Electrical Substations</p> <p>Substations are not permitted to be installed on land to be dedicated to Council as a part of this determination.</p> <p>If the applicant is to pursue the installation of substations on land to be dedicated to Council, the applicant is required to obtain separate approval and relevant licence from Council's Executive Manager Property (or equivalent).</p> <p><i>Condition reason: To comply with Council's requirements.</i></p> <p style="text-align: right;">D01.999</p>
15.	<p>Median Island</p> <p>The median island on Georges River Road is to be constructed with a total structural thickness of 300mm. The finished surface level of the island shall be 150mm above the road surface to provide adequate separation and visibility. Construction details are to ensure durability and compliance with relevant design standards.</p> <p><i>Condition reason: To ensure the median island can support future use.</i></p> <p style="text-align: right;">D01.999</p>
16.	<p>Tree removal, retention and protection</p> <ul style="list-style-type: none"> • The tree removal, retention and protection is to be undertaken as set out in the Arboricultural Impact Assessment Airs Stage 5 prepared by Arborsaw dated October 2023. • A Project Arborist with minimum AQF Level 5 qualification shall be engaged prior to the commencement of any works on site and monitor and report regularly on the condition and protection of the retained trees and implement the Tree Protection Plan for all stages of the development. • No other trees or vegetation are to be cut down, lopped, destroyed or removed without the separate written approval of Council. • All works within proximity to existing trees or vegetation are to comply with <i>Australian Standards AS4970 - Protection of Trees on Development Sites</i>: <ul style="list-style-type: none"> a. All compound/ stockpile, laydown, vehicle park up and amenities shall be located in cleared areas and beyond the dripline of existing trees .

	<p>b. Prior to the commencement of any works, the area required for site access will be clearly demarcated to ensure there is no damage to native vegetation outside of the development impact zone</p> <p><i>Condition reason: To allow for the removal, retention and protection of trees.</i></p> <p style="text-align: right;">D01.999</p>
17.	<p>Contamination and Remediation</p> <p>The development is to undertake the following contamination and remediation measures:</p> <ul style="list-style-type: none"> • The full implementation of all measures set out in the Remedial Action Plan prepared by Sydney Environmental Group (9 June 2023) is required. • Completion of additional supplementary contamination assessment to address data gaps identified in the previous contamination assessments is to be undertaken for the site prior to the commencement of any works. • Should newly identified unacceptable land contamination risks be identified during the supplementary assessment works, an addendum and revision to the RAP will be required, prepared by a suitably qualified environmental consultant and submitted to council for approval. • The remediation works are to be monitored and validated by a suitably qualified and experienced environmental consultant and provided to council on completion of the remediation and prior to the commencement of works. • Undertake a hazardous building materials survey of the structures present on-site prior to demolition and submit to Council. • Following removal of hazardous building materials (if identified) and subsequent demolition of the building materials, a clearance inspection should be carried out by an appropriately qualified occupational hygienist / NSW LAA. • A waste classification assessment should be carried out prior to any soil proposed for disposal off-site as per the NSW EPA Waste Classification Guidelines (2014). <p><i>Condition reason: To ensure that there are no adverse impacts as a result of contamination and that remediation occurs in an acceptable manner.</i></p> <p style="text-align: right;">D01.999</p>
18.	<p>Weed Removal</p> <p>To improve the condition of the locally occurring native community that is present within the entire Project Area, five (5) priority weeds were identified during the site assessment and are to be completely removed from the Subject Site:</p> <ul style="list-style-type: none"> ▪ <i>Cestrum parqui</i> (Green Cestrum); ▪ <i>Lycium ferocissimum</i> (African Boxthorn); ▪ <i>Olea europaea subsp. cuspidata</i> (African Olive); ▪ <i>Rubus fruticosus species aggregate</i> (Blackberry); and ▪ <i>Senecio madagascariensis</i> (Fireweed) <p><i>Condition reason: To improve the condition of the locally occurring native community.</i></p> <p style="text-align: right;">D01.999</p>
19.	<p>Street Lighting - Public</p> <p>The person or entity having the benefit of this consent must, at no cost to Council, provide</p>

	<p>LED public street lighting and pedestrian laneway lighting. Lighting is to comply with Australian Standard 1158 (AS 1158), and the standards and materials list of the local energy network provider.</p> <p>Notes:</p> <ul style="list-style-type: none"> • The Public Lighting Design Brief (PLDB) submitted to Council must include details of road types and widths. • The Notification of Change in Charges (NOCC) form is to be submitted to Council in .xlsx and .pdf format, and include a copy of the development consent, reticulation plan, duct trench and easement plan, and the Registered Lighting Practitioner's design and schedules. • The review of the PLDB and NOCC may incur a fee (refer to Council's Schedule of Fees and Charges at time of submission). • The applicant is to provide Council a complete Accredited Service Provider Level 3 (ASP3) & Registered Lighting Practitioners drawing package in .xlsx, .pdf and .dwg file formats. • The applicant is to provide Council Works as Executed (WAE) drawings by the relevant Accredited Service Provider Level 1 (ASP1) in both .pdf and .dwg file format. <p><i>Condition reason: To comply with legislation.</i></p> <p style="text-align: right;">D01.999</p>
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BEFORE ISSUE OF A SUBDIVISION WORKS CERTIFICATE

20.	<p>Utility servicing provisions</p> <p>Before the issue of a subdivision works certificate, the applicant shall obtain a letter from both the relevant electricity authority and the relevant telecommunications authority stating that satisfactory arrangements have been made to service the proposed development.</p> <p>Note: The applicant should also contact the relevant water servicing authority to determine whether the development will affect the authority's water or sewer infrastructure.</p> <p><i>Condition reason: To ensure relevant utility and service providers' requirements are provided to the certifier.</i></p> <p style="text-align: right;">D02.04</p>
21.	<p>Geotechnical report</p> <p>Prior to Council or the appointed Certifier issuing a subdivision works certificate, where proposed excavation and/or filling exceed 900mm in depth or where the subject site is identified as being filled land, a geotechnical report prepared by a NATA registered laboratory shall be submitted which indicates that the land will not be subject to subsidence, slip, slope failure or erosion.</p> <p><i>Condition reason: To inform the certifier of any structural design requirements for the approved building works.</i></p> <p style="text-align: right;">D02.09</p>
22.	<p>Soil and water management plan</p> <p>Prior to Council or the appointed Certifier issuing a subdivision works certificate, a detailed soil and water management plan shall be submitted for approval.</p> <p><i>Condition reason: To ensure no sediments or substances other than rainwater enters the stormwater system and waterways.</i></p> <p style="text-align: right;">D02.10</p>

23.	<p>Road construction (shoulder)</p> <p>Prior to Council or the appointed Certifier issuing a subdivision works certificate, the applicant shall submit engineering details of the required road construction described below:</p> <p>Road shoulder (minimum pavement width 2.5 metres) shall be constructed in Georges River Road adjacent to the subject land as shown on approved engineering plan 300178185.5.DA033 prepared by SMEC, Revision 01 and dated 4/12/2024. The details that are to include footpath formation, kerb and gutter, drainage, turfing, pavement construction including reconstruction of any temporary (sealed or unsealed) pavement or road shoulder, sealing and service adjustments in accordance with the requirements detailed in Council's <i>Specification for Construction of Subdivisional Road and Drainage Works (as amended)</i> and <i>Engineering Design for Development (as amended)</i> guide.</p> <p>All inspections are to be undertaken by Council and principal certifying authority shall not issue a subdivision certificate until Council has issued a compliance certificate for the road construction.</p> <p><i>Condition reason: To comply with council requirements.</i></p> <div>D02.17</div>												
24.	<p>Road construction (new)</p> <p>Prior to Council or the appointed Principal Certifier issuing a subdivision works certificate, the applicant shall submit design details for approval of the proposed road construction.</p> <p>The categories and traffic loadings to be adopted for the design of the road pavements shall be as follows;</p> <table><tr><th>Road No.</th><th>Category</th><th>Traffic Loading (ESA)</th></tr><tr><td>Geroges River Road</td><td>E(ii)</td><td>2 x 10⁶</td></tr><tr><td>Road 1 and 2</td><td>E(i)</td><td>1 x 10⁶</td></tr><tr><td>3, 4, 5 and 6</td><td>D</td><td>3 x 10⁵</td></tr></table> <p>Construction of the roads shall be undertaken in accordance with the requirements detailed in Council's <i>Specification for Construction of Subdivisional Road and Drainage Works (as amended)</i> and <i>Engineering Design for Development (as amended)</i> guide.</p> <p>All inspections are to be undertaken by Council and the principal certifying authority shall not issue the subdivision certificate until all works have been satisfactorily completed.</p> <p><i>Condition reason: To comply with Council requirements.</i></p> <div>D02.19</div>	Road No.	Category	Traffic Loading (ESA)	Geroges River Road	E(ii)	2 x 10 ⁶	Road 1 and 2	E(i)	1 x 10 ⁶	3, 4, 5 and 6	D	3 x 10 ⁵
Road No.	Category	Traffic Loading (ESA)											
Geroges River Road	E(ii)	2 x 10 ⁶											
Road 1 and 2	E(i)	1 x 10 ⁶											
3, 4, 5 and 6	D	3 x 10 ⁵											
25.	<p>Traffic Committee</p> <p>Prior to Council or the appointed Certifier issuing a subdivision works certificate, the applicant shall submit plans and obtain approval from Council's Local Traffic Committee for any proposals for the construction of prescribed traffic control devices and traffic control facilities and all associated line marking and/or sign posting.</p> <p><i>Condition reason: To comply with Council requirements.</i></p> <div>D02.23</div>												
26.	<p>Stormwater management plan</p>												

	<p>Prior to Council or the appointed Principal Certifier issuing a subdivision works certificate, plans, electronic models and other supporting information indicating all engineering details and calculations relevant to site regrading and the collection and disposal of stormwater from the site and adjacent catchments, shall be submitted for approval. Where adjacent properties are affected, drainage formalisation shall be extended to include these properties to the satisfaction of the adjacent owners and Council.</p> <p>All proposals shall comply with the requirements detailed in Council's <i>Engineering Design for Development (as amended)</i> guide, <i>Australian Rainfall and Runoff (current version)</i>, <i>NSW Floodplain Development Manual</i> and the <i>Water Cycle Management Plan for Airds Stage 7</i> dated 27 Jan 2023/Rev B.</p> <p><i>Condition reason: To protect the operation of stormwater systems.</i></p> <p>D02.26</p>
27.	<p>Work on public land</p> <p>Before the issue of a subdivision works certificate, the applicant shall obtain written approval from Council for any proposed work on public land. Inspection of this work shall be undertaken by Council at the applicant's expense and a compliance certificate, approving the works, shall be obtained from Council prior to the principal certifier issuing an occupation certificate.</p> <p><i>Condition reason: To ensure that work on public land is undertaken with approval.</i></p> <p>D02.35</p>
28.	<p>Telecommunications infrastructure</p> <ol style="list-style-type: none"> 1. If the development is likely to disturb or impact upon telecommunications infrastructure, written confirmation from the service provider that they have agreed to proposed works must be submitted to the appointed certifier prior to the issue of a construction certificate or any works commencing, whichever occurs first; and 2. The arrangements and costs associated with any adjustment to telecommunications infrastructure shall be borne in full by the applicant/developer. <p><i>Condition reason: To ensure that the development does not impact any telecommunications infrastructure and that appropriate arrangements have been made for the approved development.</i></p> <p>D02.59</p>
29.	<p>Sydney Water</p> <p>Before the issue of a subdivision works certificate, the approved plans must be submitted to Sydney Water via the Sydney Water Tap In service, to determine whether the development will affect any Sydney Water wastewater and water mains, stormwater drains and/or easements, and if any requirements need to be met.</p> <p>An approval receipt will be issued if the building plans have been approved. The approval receipt shall be submitted to the appointed certifier prior to issue of a construction certificate.</p> <p>The Sydney Water Tap In service can be accessed at www.sydneywater.com.au.</p> <p><i>Condition reason: To ensure the development does not adversely affect Sydney Water infrastructure and that appropriate arrangements have been made to connect to Sydney Water services.</i></p> <p>D02.60</p>

30.	<p>Vehicle turning movements</p> <p>Prior to Council or an accredited certifier issuing a subdivision works certificate, Vehicle turning movements (for the appropriate vehicle types as agreed with Council) are to be assessed and prepared by a professional Traffic Engineer using Autodesk Vehicle Tracking and submitted for approval.</p> <p>The speed environment, selection of design vehicle and checking vehicles used in the assessment is to be consistent with the requirements as set out in the Austroads Guide to Road Design Part 4 and Austroads Design Vehicles and Turning Path Templates Guide.</p> <p><i>Condition reason: To comply with Austroads Guide to Road Design.</i></p> <p style="text-align: right;">D02.62</p>
31.	<p>Civil Works under S138 Roads Act</p> <p>Prior to Council or the appointed Principal Certifier issuing a subdivision works certificate, the applicant shall lodge a S138 Roads Act application via NSW Planning Portal for any proposed civil works proposed on public land.</p> <p>The application shall be accompanied with detailed engineering plans designed in accordance with the requirements detailed in <i>Austroads Guides</i> and Council's <i>Specification for Construction of Subdivisional Road and Drainage Works (as amended)</i> and <i>Engineering Design for Development (as amended)</i> guide.</p> <p>The application shall include payment for plan assessment and inspection fees.</p> <p>All works shall be carried out in accordance with the Roads Act approval, the approved stamped plans and Council specifications.</p> <p>Inspection of this work shall be undertaken by Council at the applicant's expense.</p> <p><i>Condition reason: To comply with Roads Act.</i></p> <p style="text-align: right;">D02.999</p>
32.	<p>Water Quality</p> <p>Prior to Council or the appointed Principal Certifier issuing a subdivision works certificate, plans, electronic models and other supporting information indicating all engineering details and calculations relevant to the water quality treatment of stormwater from the site and adjacent catchment shall be submitted to Council's Executive Manager Infrastructure (or equivalent) for approval.</p> <p>Maintenance details for the water quality devices including Filterra System in the form of an <i>Operation and Maintenance Manual</i> and <i>Maintenance Schedule</i>, must be submitted to Council's Executive Manager Infrastructure (or equivalent) for approval prior to the issue of a subdivision works certificate. The Manual and Schedule are to be updated and discussed with Infrastructure Section prior to handover of these assets to Council.</p> <p>All proposals shall comply with the requirements detailed in Council's <i>Engineering Design for Development (as amended)</i> guide and the applicable <i>Development Control Plan</i>.</p> <p><i>Condition reason: To comply with Council's Engineering requirements.</i></p> <p style="text-align: right;">D02.999</p>
33.	<p>Filterra System Maintenance Bond</p> <p>Prior to the issuing a subdivision works certificate, the applicant must make a written agreement with Council's Executive Manager Infrastructure (or equivalent) with respect to the</p>

	<p>proposed Filterra bio-retention system accepting the following clauses (but not limited to):</p> <ol style="list-style-type: none"> a. The bio-retention system must be maintained by the applicant for at least 5 years from the construction of 80% of the building works, and a maintenance bond must be paid to council prior to release of a subdivision certificate. The amount of bond is to be worked out in consultation with Council's Executive Manager Infrastructure and Executive Manager Operations. b. The maintenance period must not be commenced until the building works are 80% complete and the sediment basin is removed. c. Additional years of maintenance obligation will be imposed on the applicant or a lump sum payment will be required to be paid to Council if the Filterra system fails to meet any of the following: <ol style="list-style-type: none"> i. The design targets of performance. ii. Cost of maintenance. iii. Not experienced by significant rainfall events in terms of frequency and size of rainfall events. d. A testing regime is to be implemented to confirm performance and results to be supplied within 4 weeks after each extreme heavy storm events (i.e. all rainfall events that generate runoff more than 10mm per hour). The water testing is to be managed by Council with an agreed company at no cost to Council. e. The operation and maintenance specification and schedule must be submitted to Council in the form of an operation and maintenance manual, and approved by Council's Executive Manager Infrastructure prior to the issue of a subdivision works certificate. The results of maintenance works must be supplied to Council after each maintenance is carried out. f. A written certification must be submitted prior to the handover of the Filterra bio-retention basin at the end of the 5-year maintenance period confirming that the installed filter media complies with Ocean Protect's requirements. The critical parameters are to include saturated hydraulic conductivity at 3550mm/hr. <p><i>Condition reason: To ensure sufficient maintenance and compliance.</i></p> <p style="text-align: right;">D02.999</p>
34.	<p>Retaining Structures</p> <p>Prior to Council or the appointed Principal Certifier issuing a Subdivision Works Certificate, the applicant shall engage a suitably qualified structural and geotechnical engineer to design all proposed retaining structures exceeding 600mm in height.</p> <p>All retaining structures adjacent to existing or future public infrastructure shall be constructed of a masonry material and shall be constructed wholly within the property boundary, including footings and agricultural drainage lines. No encroachments within land to be dedicated to Council is permitted.</p> <p><i>Condition reason: To comply with legislation.</i></p> <p style="text-align: right;">D02.999</p>
35.	<p>Road Safety Audit</p> <p>Prior to Council or the appointed Principal Certifier issuing a Subdivision Works Certificate, a detailed road safety audit (RSA) is to be undertaken for the design of the proposed roadworks</p>

	<p>and traffic facilities by an independent road safety auditor.</p> <p><i>Condition reason: To comply with legislation.</i></p> <p>D02.999</p>
36.	<p>Landscape Plans</p> <p>Prior to issue of a Subdivision Works Certificate, landscape documentation including plans, details and specification must be submitted to the Open Space Planner for review, and to be endorsed by Council's Executive Manager on behalf of Open Space.</p> <p><i>Condition reason: To ensure consistency with the approved landscape plans.</i></p> <p>D02.999</p>
37.	<p>Containment Cell Agreement</p> <p>Prior to Council or the appointed Principal Certifier issuing a subdivision works certificate, an agreement between Council and Land and Housing (LAHC) must be executed to comply with the general terms of agreement in support of the remediation of lands within the Airds Bradbury Renewal project via the establishment of containment cells under a number of roadways within Stage 5 (as denoted upon the submitted plan), and which involves:</p> <ul style="list-style-type: none"> • Easements registered over parts of new roadways to be dedicated; • Easements to reference an Environmental Management Plan for the containments cells. <p><i>Condition reason: To comply with Council requirements.</i></p> <p>D02.999</p>
38.	<p>Contamination Assessment – RAP Approval</p> <p>Prior to Council or the appointed principal certifier issuing a subdivision works certificate and or commencement of remediation works whichever occurs first, the Remediation Action Plan (RAP) as prepared by JBS& G Australia Pty Ltd (Project 59958/151,763 (Rev 1) dated 30 November 2022) shall be reviewed, updated and accordingly approved by a suitably qualified site auditor accredited by the EPA, and all remediation works shall be undertaken in accordance with the approved RAP.</p> <p>A copy of the approved RAP shall be forwarded to Council for its records.</p> <p><i>Condition reason: To comply with Council requirements.</i></p> <p>D02.999</p>
39.	<p>Remediation Specification</p> <p>Prior to Council and/or the appointed principal certifier issuing a subdivision works certificate, a Remediation Specification for all remediation works, shall be submitted and approved by a Site Auditor and which includes, but is not limited to the following;</p> <ul style="list-style-type: none"> • the remediation works, as per the Remediation Action Plan approved and amended; • details of capping material over the contaminated fill; • the design and construction of the proposed containment cell; and • requirements for period inspections and recordings. <p><i>Condition reason: To comply with Council requirements.</i></p> <p>D02.999</p>
40.	<p>Containment Cell</p>

	<p>Prior to Council or the appointed principal certifier issuing a subdivision works certificate, and should the option of consolidation and isolation of the soil on site by containment be required, the detail design and specifications for the proposed containment cells shall be submitted to Council's Executive Manager Planning & Development (or equivalent) and the Principal Certifier for approval and shall include the following provisions:</p> <ul style="list-style-type: none"> • location of the containment cells; • consideration of utility services; • details of barrier systems; • leak detection systems; • leachate management; • capping layer design including seal bearing system; • groundwater impact review. <p><i>Condition reason: To comply with Council requirements.</i></p> <p style="text-align: right;">D02.999</p>
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3. BEFORE BUILDING WORK COMMENCES

41.	<p>Trade waste</p> <p>Before any site work commences on the land, a trade waste facility shall be provided on-site to store all waste pending disposal. The facility shall be screened, regularly cleaned and accessible to collection vehicles.</p> <p><i>Condition reason: To ensure all waste is moved off-site for disposal.</i></p> <p style="text-align: right;">D03.04</p>
42.	<p>Vehicular access during construction</p> <p>Before any site work commences on the land, a single vehicle/plant access to the site shall be provided, to minimise ground disturbance and prevent the transportation of soil onto any public road system. Single sized aggregate, 40mm or larger placed 150mm deep, extending from the kerb and gutter to the property boundary, shall be provided as a minimum requirement.</p> <p><i>Condition reason: To ensure that construction vehicles do not disturb the soil and adversely impact Council infrastructure.</i></p> <p style="text-align: right;">D03.05</p>
43.	<p>Public property</p> <p>Prior to the commencement of any works on site, the applicant shall advise Council of any damage to property controlled by Council which adjoins the site including kerbs, gutters, footpaths, walkways, reserves and the like. Failure to identify existing damage may result in all damage detected after completion of the development being repaired at the applicant's expense.</p> <p><i>Condition reason: To ensure the condition of public infrastructure is recorded before the commencement of any works.</i></p> <p style="text-align: right;">D03.06</p>

44.	<p>Demolition works</p> <p>Any demolition works shall be carried out in accordance with the following:</p> <ol style="list-style-type: none"> 1. Before any site work commences on the land, and if any demolition is proposed, a detailed demolition work plan designed in accordance with Clause 1.7.3 of Australian Standard AS 2601-2001 – The Demolition of Structures, prepared by a suitably qualified person with suitable expertise or experience, shall be submitted to and approved by Council and shall include the identification of any hazardous materials, method of demolition, precautions to be employed to minimise any dust nuisance and the disposal methods for hazardous materials. 2. Before any site work commences on the land, the demolition Contractor(s) licence details must be provided to Council. 3. The handling or removal of any asbestos product from the building/site must be carried out by a NSW Work Cover licensed contractor irrespective of the size or nature of the works. Under no circumstances shall any asbestos on site be handled or removed by a non-licensed person. The licensed contractor shall carry out all works in accordance with NSW Work Cover requirements. 4. An appropriate fence preventing public access to the site shall be erected for the duration of demolition works. 5. Immediately prior to the commencement of the demolition or handling of any building or structure that contains asbestos, the applicant shall request that the principal certifier attend the site to ensure that all appropriate safety measures are in place. The applicant shall also notify the occupants of the adjoining premises and Workcover NSW prior to the commencement of any works. <p><i>Condition reason: To provide details of measures for the safe and appropriate disposal of demolition waste and the protection of the public and surrounding environment during the carrying out of demolition works on the site.</i></p> <p>D03.08</p>
45.	<p>Hoarding / Fence</p> <p>Before any site work commences, a hoarding or fence must be erected between the work site and a public place if the work involved in the development is likely to cause pedestrian or vehicular traffic in a public place to be obstructed or rendered inconvenient, or if the building involves the enclosure of a public place in accordance with Work Cover requirements.</p> <p>The work site must be kept lit between sunset and sunrise if it is likely to be hazardous to persons in the public place.</p> <p>A separate land use application under <i>Section 68 of the Local Government Act 1993</i> shall be submitted to and approved by Council prior to the erection of any hoarding on public land.</p> <p><i>Condition reason: To protect workers, the public and the environment.</i></p> <p>D03.09</p>
46.	<p>Dilapidation Report</p> <p>Prior to the commencement of works, the applicant shall submit a dilapidation report for all buildings in the vicinity of the subject works and for any other infrastructure that may be affected by the works on the subject site.</p> <p><i>Condition reason: To minimise impacts to surrounding developments.</i></p>

	D03.999
47.	<p>Construction Traffic Management Plan</p> <p>Prior to the commencement of works a Construction Traffic Management Plan detailing construction vehicle routes, number of trucks, hours of operation, access arrangements and traffic control, shall be submitted to Council for approval.</p> <p>Copies of the approved CTMP's shall be kept on site for the duration of the works, in accordance with <i>Work Cover Authority</i> requirements and copies shall also be forwarded to Council for its records.</p> <p><i>Condition reason: To minimise impacts to the surrounding developments.</i></p> <p>D03.999</p>
48.	<p>Traffic Control Plans</p> <p>Prior to the commencement of works, the applicant shall prepare a Traffic Control Plan (TCP) in accordance with TfNSW's <i>Traffic Control at Work Sites Technical Manual</i> and Australian Standard AS 1742.3(as amended) and obtain approval from an accredited person. A copy of the approved TCP shall be kept on site for the duration of the works, in accordance with <i>Work Cover Authority</i> requirements and a copy shall be submitted to Council for its records.</p> <p><i>Condition reason: To comply with legislation.</i></p> <p>D03.999</p>
49.	<p>Protection of Koalas during Clearing and Construction</p> <p>During vegetation clearing and construction the following mitigation measures must be undertaken to ensure the protection of koalas during clearing and construction works in the subject site:</p> <ul style="list-style-type: none"> • Clearing of native vegetation and/or earthworks must be suspended within a range of 25m from any tree which is concurrently occupied by a koala and must not resume until the koala has moved from the tree of its own volition. • Any clearing must not commence until the area proposed for clearing has been inspected for the presence of koalas by a suitably qualified ecologist and approval given in writing from Councils Manager of Development Assessment. • Approval to proceed with the clearing of vegetation in accordance with this section is only valid for the day on which the inspection has been undertaken. • A suitably qualified ecologist must remain on site during any approved clearing of vegetation. If clearing operations are being undertaken concurrently in different sections of a property, a suitably qualified ecologist must be present in each section. <p><i>Condition reason: To protect existing vegetation.</i></p> <p>D03.999</p>
50.	<p>Ecological Measures</p> <p>Prior to any works commencing on site, a qualified and experienced Ecologist with current licences in Department of Primary Industries Animal Research Authority permit and New South Wales Scientific License issued under the BC Act, must be engaged to implement the following mitigation measures:</p> <p>a) Undertake an extensive pre-clearing survey which includes targeted searches for threatened fauna, threatened flora and Priority Weeds, and delineating habitat-bearing trees and shrubs; and</p>

	<p>b) Supervise the clearance of any habitat trees or shrubs identified during the pre-clearing survey (native and exotic) in order to capture, treat and/or relocate any displaced fauna.</p> <p>Mitigation measures proposed for the removal of 1 hollow bearing tree (with 5 hollows) and one hollow-bearing stag must comply with <i>SCDCP 11.2.2 Protection of Hollow-Bearing trees</i> replacement ratio of nest boxes at a minimum of 2:1.</p> <p>a) The Project Ecologist must install 12 nest boxes appropriate for the following threatened species identified on site in a suitable location nearby the proposed works. This can be undertaken in conjunction with Council's Natural Areas Team to identify a suitable site.</p> <ul style="list-style-type: none"> • <i>Myotis macropus</i> (Southern Myotis); • <i>Micronomus norfolkensis</i> (Eastern Coastal Free-tailed Bat); and • <i>Miniopterus orianae oceanensis</i> (Large Bent-winged Bat). <p><i>Condition reason: To protect the ecological values of the sites.</i></p>
51.	<p>Construction Environmental Management Plan</p> <p>Prior to the commencement of any works, a site-specific Construction Environmental Management Plan (CEMP) must be prepared addressing prescriptions for the mitigation of environmental impacts and associated monitoring requirements.</p> <p>The CEMP must be approved in writing by Council's Executive Manager Planning and Development (or equivalent) prior to the commencement of physical development works.</p> <p>At a minimum the CEMP must include/address in detail:</p> <ul style="list-style-type: none"> • Required Sediment and Erosion Control Measures/stockpile management as per Managing Urban Stormwater: Soils and Construction (Landcom, 2004) – The Blue Book. • Noise control measures and hours of operation. • Air quality control measures (including dust management). • Water management (including maintaining/monitoring water quality in nearby dams/waterways). • Measures to mitigate impacts to areas of native vegetation. • Measures to prevent the spread of priority and environmental weeds including African Love Grass and other weed species, including spread via machinery movements both within the development site and offsite via the relocation of fill material including top soil. • Details of required preclearance and clearance surveys. • Hazardous material management protocols (ie. fuel etc) addressing storage, use, refuelling etc. • Details of how fill will be stored on site (ie. proposed number of piles, proposed location of piles, sedimentation and erosion control treatment measures, and an estimate of how long the fill will be stockpiled, inspection and monitoring requirements). • Incident and emergency response protocols. • Competence, training and awareness procedures (ie. Environmental inductions, Toolbox talks, training and awareness). • Roles and responsibilities for implementing, monitoring and reviewing CEMP requirements. • An overview of relevant environmental management documentation. • Waste Management Procedures in accordance with the submitted Waste Management Plan. • Inspection, monitoring and auditing requirements for all environmental controls and

D03.999

	<p>adaptive management to ensure environmental mitigation measures remain effective.</p> <ul style="list-style-type: none"> Community Consultation and Liaison. <p>The environmental controls outlined in the CEMP are to form part of the site induction process and daily toolbox meetings.</p> <p><i>Condition reason: To comply with Council requirements.</i></p> <p style="text-align: right;">D03.999</p>
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DURING CONSTRUCTION WORK

52.	<p>Construction work hours</p> <p>All work on site shall only occur between the following hours:</p> <table style="margin-left: auto; margin-right: auto;"> <tr> <td>Monday to Friday</td><td>7.00 am to 6.00 pm</td></tr> <tr> <td>Saturday</td><td>8.00 am to 5.00 pm</td></tr> <tr> <td>Sunday and public holidays</td><td>No Work.</td></tr> </table> <p><i>Condition reason: To protect the amenity of the surrounding area.</i></p> <p style="text-align: right;">D04.01</p>	Monday to Friday	7.00 am to 6.00 pm	Saturday	8.00 am to 5.00 pm	Sunday and public holidays	No Work.
Monday to Friday	7.00 am to 6.00 pm						
Saturday	8.00 am to 5.00 pm						
Sunday and public holidays	No Work.						
53.	<p>Erosion and sediment control</p> <p>Erosion and sediment control measures shall be provided and maintained throughout the construction period in accordance with the requirements of Landcom's <i>Managing Urban Stormwater: Soils and Construction, Volume 1 (the Blue Book)</i>, the approved plans, Council specifications and to the satisfaction of the principal certifying authority. The erosion and sediment control devices shall remain in place until the site has been stabilised and fully revegetated.</p> <p>Note: On the spot penalties up to \$8,000 will be issued for any non-compliance with this requirement without any further notification or warning.</p> <p><i>Condition reason: To ensure sediment laden runoff and site debris do not impact local stormwater and waterways.</i></p> <p style="text-align: right;">D04.02</p>						
54.	<p>Protection of existing trees</p> <p>While site work is being carried out, no trees are to be cut down, lopped, destroyed or removed without the separate written approval of Council unless those trees are within three metres of the footprint of a building that has been approved by Council.</p> <p>All trees that are to be retained are to be protected by fencing, firmly staked within the drip line/ canopy of the tree and maintained during the duration of the works. The area within the fencing must not be used for stockpiling of any material, nor for vehicle or pedestrian convenience.</p> <p>All useable trees and shrubs shall be salvaged for re-use, either in log form, or as woodchip mulch for erosion control or garden beds or site rehabilitation. Non-salvageable materials such as roots and stumps shall be disposed of to a waste management centre or other approved form.</p> <p><i>Condition reason: To protect and retain existing trees.</i></p> <p style="text-align: right;">D04.04</p>						
55.	<p>Fill Compaction Requirements</p> <p>Any filling carried out on the site shall be compacted to a minimum dry density of 98%</p>						

	<p>Standard Compaction. Density testing, which is to be certified by a qualified geotechnical engineer, shall be undertaken for every 300mm rise in vertical height, with test locations being selected randomly across the site. At least 1 test shall be taken for every 500m² of the filled area (minimum 1 test per 300mm layer).</p> <p><i>Condition reason: To ensure any fill material is suitably compacted.</i></p> <p style="text-align: right;">D04.06</p>
56.	<p>Fill contamination</p> <p>Any landfill used on the site is to be validated in accordance with the <i>Environment Protection Authority's</i> guidelines for consultants reporting on contaminated sites. The validation report shall state in an end statement that the fill material is suitable for the proposed use on the land.</p> <p><i>Condition reason: To ensure any fill material used on site is not contaminated and is safe for future occupants.</i></p> <p style="text-align: right;">D04.07</p>
57.	<p>Dust nuisance</p> <p>Measures shall be implemented to minimise wind erosion and dust nuisance in accordance with the requirements of the Landcom's <i>Managing Urban Stormwater: Soils and Construction, Volume 1 (the Blue Book)</i>. Construction areas shall be treated/regularly watered to the satisfaction of the principal certifying authority.</p> <p>Note: Council may impose significant financial penalties for any non-compliance with this requirement without any further notification or warning.</p> <p><i>Condition reason: To minimise the impacts of the development construction on the environment.</i></p> <p style="text-align: right;">D04.08</p>
58.	<p>Excess material</p> <p>All excess material is to be removed from the site. The spreading of excess material or stockpiling on site will not be permitted without prior written consent from Council.</p> <p><i>Condition reason: To ensure that the levels of the land remain consistent with the approved plans.</i></p> <p style="text-align: right;">D04.14</p>
59.	<p>Earth works/ Filling works</p> <p>All earthworks, including stripping, filling, and compaction shall be:</p> <ul style="list-style-type: none"> Undertaken in accordance with Council's 'Specification for Construction of Subdivisional Roads and Drainage Works' (as amended), AS 3798 'Guidelines for Earthworks for Commercial and Residential Development' (as amended), and approved construction drawings; Supervised, monitored, inspected, tested and reported in accordance with AS 3798 Appendix B 2(a) Level 1 and Appendix C by a NATA registered laboratory appointed by the applicant. Two collated copies of the report and fill plan shall be forwarded to Council; and Certified by the laboratory upon completion as complying, so far as it has been able to determine, with Council's specification and AS 3798. <p><i>Condition reason: To ensure earthworks are carried out in accordance with the relevant Australian Standards and Council's DCP.</i></p>

	D04.16
60.	<p>Revegetation</p> <p>Revegetation in accordance with the requirements of Landcom's <i>Managing Urban Stormwater: Soils and Construction, Volume 1 (the Blue Book)</i> shall be applied to all disturbed areas within seven days after completion of the earthworks and shall be fully established prior to release of the maintenance security bond.</p> <p><i>Condition reason: To comply with legislation.</i></p> <p>D04.17</p>
61.	<p>Public safety</p> <p>Any works undertaken in a public place are to be maintained in a safe condition at all times. In this regard, the applicant shall ensure that a safe, fully signposted passage, a minimum of 1.2 metres wide and separated from the works and moving vehicles by suitable barriers and lights, is maintained for pedestrians, including disabled pedestrians, at all times. The applicant shall ensure that traffic control is undertaken and maintained strictly in accordance with Australian Standard AS 1742.3, the requirements set out in the TfNSW's <i>Traffic Control at Work Sites Technical Manual (as amended)</i>, all applicable Traffic Management and/or Traffic Control Plans. The contractor shall also ensure that all <i>Work Cover Authority</i> requirements are complied with. Council may at any time and without prior notification make safe any such works that be considered to be unsafe, and recover all reasonable costs incurred from the applicant.</p> <p><i>Condition reason: To protect workers, traffic and the public.</i></p> <p>D04.18</p>
62.	<p>Compliance with Relevant Authority's Specifications</p> <p>All design and construction work shall be in accordance with:</p> <ul style="list-style-type: none"> a. Council's <i>Specification for Construction of Subdivisional Road and Drainage Works (as amended)</i>; b. Council's <i>Engineering Design for Development (as amended)</i> guide; c. Council's applicable <i>Development Control Plan</i>; d. Landcom's <i>Managing Urban Stormwater: Soils and Construction, Volume 1 (the Blue Book)</i>; e. TfNSW <i>Traffic Control at Work Sites Technical Manual</i>; f. Australian Standard AS 2890 various (<i>Parking Facilities</i>); g. Australian Standard AS 1742 various (<i>Manual of uniform traffic control devices</i>); and h. Other relevant Australian Standards, Austroads and/or State Government publications. <p><i>Condition reason: To ensure earthworks are carried out in accordance with the relevant Australian Standards, best practice and Council's DCP.</i></p> <p>D04.21</p>
63.	<p>Pavement thickness determination</p> <p>A road pavement design and pavement thickness report prepared by a N.A.T.A. registered laboratory and appointed by the applicant, shall be submitted to the principal certifying authority for approval, a minimum of 2 working days prior to the inspection of the exposed sub grade.</p> <p>The pavement design shall be prepared in accordance with the requirements detailed in Council's <i>Engineering Design for Development (as amended)</i> guide.</p> <p><i>Condition reason: To comply with Council's engineering requirements.</i></p> <p>D04.26</p>

64.	<p>Associated works</p> <p>The applicant shall undertake any works external to the development, that are made necessary by the development, including additional road and drainage works or any other civil works directed by Council, to make a smooth junction with existing work.</p> <p><i>Condition reason: To ensure that work on public land is undertaken with approval in accordance with Councils requirements.</i></p> <p>D04.31</p>
65.	<p>Redundant laybacks</p> <p>All redundant laybacks shall be reinstated as conventional kerb and gutter, in accordance with the requirements detailed in Council's <i>Specification for Construction of Subdivisional Road and Drainage Works (as amended)</i> and <i>Engineering Design for Development (as amended)</i> guide.</p> <p><i>Condition reason: To ensure any redundant infrastructure is removed.</i></p> <p>D04.32</p>
66.	<p>Imported 'waste-derived' fill material</p> <p>The only waste-derived fill material that may be received at the development site is:</p> <ul style="list-style-type: none"> • virgin excavated natural material (within the meaning of the Protection of the Environment Operations Act 1997); and • any other waste-derived material the subject of a resource recovery exemption under cl.51A of the Protection of the Environment Operations (Waste) Regulation 2005 that is permitted to be used as fill material. <p>Any waste-derived material the subject of resource recovery exemption received at the development site must be accompanied by documentation as to the material's compliance with the exemption conditions and must be provided to the principal certifier on request.</p> <p><i>Condition reason: To ensure any fill material used on site is not contaminated and is safe for future occupants.</i></p> <p>D04.36</p>
67.	<p>Vehicular Access During Construction</p> <p>Prior to the commencement of any works on the land, a single vehicle/plant access to the site shall be provided, to minimise ground disturbance and prevent the transportation of soil onto any public road system. Single sized aggregate, 40mm or larger and placed 150mm deep, extending from the kerb and gutter to the property boundary, shall be provided as a minimum requirement.</p> <p><i>Condition reason: To comply with Council's engineering requirements.</i></p> <p>D04.999</p>

BEFORE ISSUE OF A SUBDIVISION CERTIFICATE

68.	<p>Splay corner (residential)</p> <p>Prior to Council or the appointed Principal Certifier issuing a subdivision certificate, the applicant shall dedicate 4m x 4m splay corners in the property boundaries of all lots located adjacent to road intersections, at no cost to Council.</p> <p><i>Condition reason: To comply with Council's engineering requirements.</i></p> <p>D05.18.0</p>
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69.	<p>Section 73 Certificate – subdivision Only</p> <p>Before the issue of the relevant subdivision certificate, a section 73 compliance certificate under the <i>Sydney Water Act 1994</i> shall be obtained from Sydney Water Corporation. Early application for the certificate is suggested as this can also impact on other services and building, driveway or landscape design.</p> <p>Application shall be made through an authorised Water Servicing Coordinator.</p> <p>For help either visit www.sydneywater.com.au > Building and developing > Developing your Land > Water Servicing Coordinator or telephone 13 20 92.</p> <p>The section 73 certificate must be submitted to Council prior to the release of the subdivision certificate.</p> <p><i>Condition reason: To comply with legislation.</i></p> <p style="text-align: right;">D05.01.01</p>
70.	<p>Public reserve improvements</p> <p>Before the issue of the relevant subdivision certificate, the applicant shall obtain written approval from Council for all works carried within the proposed reserve.</p> <p><i>Condition reason: To comply with legislation.</i></p> <p style="text-align: right;">D05.09.S</p>
71.	<p>Restriction on the use of land</p> <p>Before the issue of the relevant subdivision certificate, the applicant shall create appropriate restrictions on the use of land under Section 88B of the Conveyancing Act.</p> <ul style="list-style-type: none"> a. <i>Floor Level Control – where applicable</i> b. <i>No Alteration to Surface Levels – subject to geotechnical advice</i> c. <i>Lots Filled – where applicable</i> d. <i>Access Denied – where applicable</i> e. <i>Set Back from Access Denied Roads – where applicable</i> f. <i>Uncontrolled Fill – where applicable</i> g. <i>Drainage Floor Level Control Easements – (100yr flow, depressed) – where applicable</i> h. <i>No Cut or Fill – (Existing Geotech Report from N.A.T.A. reg. Laboratory) – where applicable</i> i. <i>No Cut or Fill – (Geotech Report Required) – where applicable</i> j. <i>Battle-Axe Lots where reciprocal rights of carriageway are proposed</i> k. <i>Lots with any other restrictions eg. Refuse Collection.</i> <p>The applicant shall liaise with Council regarding the required wording. Any lots subsequently identified during the subdivision process as requiring restrictions shall also be suitably burdened. Design plans and work as executed plans shall show affected lots marked with Council approved symbols. The authority empowered to release, vary or modify these restrictions on the use of land shall be the Council of the City of Campbelltown. The cost and expense of any such release, variation or modification shall be borne by the person or corporation requesting the same in all respects.</p> <p><i>Condition reason: To comply with legislation.</i></p> <p style="text-align: right;">D05.12.S</p>
72.	<p>Bond (outstanding work)</p> <p>Prior to Council or the appointed Principal Certifier issuing a subdivision certificate and to facilitate the release of the subdivision certificate, Council may accept bonding for outstanding asphaltic concrete work, footpath paving, vehicle crossings/driveways or other</p>

	<p>minor works. Following a written request from the applicant, Council will determine the bond requirements.</p> <p>All bonds are to be provided in the form of Cash or a written Bank Guarantee from an Australian Banking Institution.</p> <p><i>Condition reason: To ensure consistency with the approved documents.</i></p> <p style="text-align: right;">D05.13.S</p>
73.	<p>Maintenance security bond</p> <p>Prior to Council or the appointed Principal Certifier issuing a subdivision certificate, a maintenance security bond of 5% of the contract value or \$5000, whichever is the greater, shall be lodged with Council. This security will be held in full until completion of maintenance, minor outstanding works and full establishment of vegetation to the satisfaction of Council, or for a period of 12 months from the date of (completion of works to Council's satisfaction) release of the subdivision certificate, whichever is the longer. All bonds are to be provided in the form of Cash or a written Bank Guarantee from an Australian Banking Institution.</p> <p>The applicant is responsible for applying to Council for the return of the bond. Should no request be made to Council for the return of the bond six years after the issue of the subdivision certificate, Council will surrender the bond to the <i>Office of State Revenue</i>.</p> <p>Council acknowledges that Landcom/Homes NSW may submit Letters of Undertaking in this regard.</p> <p><i>Condition reason: To ensure consistency with the approved documents.</i></p> <p style="text-align: right;">D05.14.S</p>
74.	<p>Classification of residential lots (development without dwelling construction)</p> <p>Before the issue of the relevant subdivision certificate, all proposed residential lots are to be individually classified in accordance with guidelines contained in the Australian Standard for Residential Slabs and Footings – AS2870.1996 (as amended).</p> <p><i>Condition reason: To comply with the relevant Australian Standards.</i></p> <p style="text-align: right;">D05.15.S</p>
75.	<p>Final inspection – Works as Executed plans</p> <p>Prior to Council or the appointed Principal Certifier issuing a subdivision certificate, the applicant shall submit to Council an electronic copy of fully marked up and certified work as executed plans in accordance with the requirements detailed in Council's <i>Specification for Construction of Subdivisional Road and Drainage Works (as amended)</i> and <i>Engineering Design for Development (as amended)</i> guide.</p> <p>The applicant shall also submit a copy of the Works as Executed information to Council in an electronic format in accordance with the following requirements:</p> <p>Survey Information</p> <ul style="list-style-type: none"> • Finished ground and building floor levels together with building outlines. • Spot levels every five (5) metres within the site area. • Where there is a change in finished ground levels that are greater than 0.3m between adjacent points within the above mentioned 5m grid, intermediate levels will be required. • A minimum of fifteen (15) site levels. • If the floor level is uniform throughout, a single level is sufficient. • Details of all stormwater infrastructure including pipe sizes and types as well as surface and invert levels of all existing and/or new pits/pipes associated with the

	<p>development.</p> <ul style="list-style-type: none"> • All existing and/or new footpaths, kerb and guttering and road pavements to the centre line/s of the adjoining street/s. • The surface levels of all other infrastructure. <p>Format</p> <ul style="list-style-type: none"> • MGA 94 (Map Grid of Australia 1994) Zone 56 - Coordinate System • All level information to Australian Height Datum (AHD) <p><i>AutoCAD Option</i></p> <ul style="list-style-type: none"> • The "etransmit" (or similar) option in AutoCAD with the transmittal set-up to include as a minimum: <p>Package Type - zip File Format - AutoCAD 2004 Drawing Format or later Transmittal Options - Include fonts Include textures from materials Include files from data links Include photometric web files Bind external references The drawing is not to be password protected.</p> <p><i>MapInfo Option</i></p> <ul style="list-style-type: none"> • Council will also accept either MapInfo Native format (i.e. .tab file) or MapInfo mid/mif. <p>All surveyed points will also be required to be submitted in a point format (x,y,z) in either an Excel table or a comma separated text file format.</p> <p><i>Condition reason: To ensure consistency with the approved documents.</i></p> <p style="text-align: right;">D05.20.S</p>
76.	<p>Engineering Documentation</p> <p>Prior to Council or the appointed Principal Certifier issuing a subdivision certificate, the applicant shall submit to Council the following documents:</p> <ol style="list-style-type: none"> a. An electronic copy of fully marked up and certified work as executed plans in accordance with the requirements detailed in Council's <i>Specification for Construction of Subdivisional Road and Drainage Works (as amended)</i> and <i>Engineering Design for Development (as amended)</i> guide, one additional separate fully marked up copy of the plan sheet(s) and one copy of the line marking/signposting plan(s). b. An electronic copy of lot classification reports, geotechnical stability reports, dispersion tests, earthworks and fill placement reports, concrete core tests, sub grade and pavement density reports, structural and all other testing undertaken. c. An electronic copy of all compliance certificates in accordance with consent authority requirements, including supply of pipes and precast units, supply of sub-base material, supply of base course material, supply of concrete, and supply of bituminous materials. <p>All reports/certificates shall be prepared by a N.A.T.A. registered laboratory or qualified engineer in accordance with the requirements detailed in Council's <i>Specification for Construction of Subdivisional Road and Drainage Works (as amended)</i> and <i>Engineering Design for Development (as amended)</i> guide and shall list the relevant compliance standard(s) and</p>

	<p>certify that the whole of the area of works or materials tested comply with the above specification.</p> <p>All reports/certificates shall be complete, fully referenced, clearly indicate the area or material tested, the location and required/actual values of all tests and retesting, and be collated and suitably bound.</p> <p><i>Condition reason: To comply with legislation.</i></p> <p style="text-align: right;">D05.21.S</p>
77.	<p>Restoration of public roads</p> <p>Prior to Council or the appointed Principal Certifier issuing a subdivision certificate, any restoration of the public road pavement required as a result of the development, shall be carried out by Council and all costs shall be paid by the applicant.</p> <p><i>Condition reason: To ensure any damage to public infrastructure is rectified.</i></p> <p style="text-align: right;">D05.22.S</p>
78.	<p>Public utilities</p> <p>Prior to Council or the appointed Principal Certifier issuing a subdivision certificate, any adjustments to public utilities required as a result of the development, shall be completed to the satisfaction of the relevant authority and at the applicant's expense.</p> <p><i>Condition reason: To ensure any damage to public infrastructure is rectified.</i></p> <p style="text-align: right;">D05.23.S</p>
79.	<p>Service authorities</p> <p>Prior to Council or the appointed Principal Certifier issuing a subdivision certificate, electronic copies of all servicing plans shall be forwarded to Council in accordance with the following:</p> <p>Written advice from <i>Sydney Water, Endeavour Energy, Telecommunications Authority</i> and where applicable the relevant gas company shall be submitted stating that satisfactory arrangements have been made for the installation of either service conduits or street mains in road crossings prior to the construction of the road pavement. All construction work shall conform to the relevant authority's specifications.</p> <p>The final seal shall be deferred pending installation of all services. In this regard the applicant shall provide a temporary seal and lodge with Council as security, the amount to be determined by Council, to cover the cost of trench restoration by Council and the placement of the final asphaltic concrete seal.</p> <p><i>Condition reason: To ensure that the site is satisfactorily serviced.</i></p> <p style="text-align: right;">D05.24.S</p>
80.	<p>House numbers</p> <p>Prior to Council or the appointed Principal Certifier issuing a subdivision certificate, all house numbers shall be stencilled onto the kerb at appropriate locations with black letters/numbers 75mm high on a white background using an approved pavement marking paint.</p> <p>Any existing redundant house numbers shall be removed.</p> <p>For all new additional lots created, please contact Council's Land Information Unit on 4645 4465 to ensure the correct house number is stencilled.</p> <p><i>Condition reason: To ensure property details are clearly visible from the street for emergency services.</i></p>

	D05.25.S
81.	<p>Line marking / Sign posting documentation (subdivision)</p> <p>Prior to Council or the appointed Principal Certifier issuing a subdivision certificate, the applicant shall submit to Council for the Local Traffic Committee's records, an electronic copy of the work as executed plans for the line marking / sign posting in relation to the subdivision. The information shown on the plan shall be in accordance with the recommendations of the Traffic Committee and shall note the date/s of installation.</p> <p><i>Condition reason: To comply with Council's engineering requirements.</i></p> <p>D05.26.S</p>
82.	<p>Residential inter-allotment drainage</p> <p>Prior to Council or the appointed Principal Certifier issuing a subdivision certificate, the applicant shall demonstrate on the works as executed plans that inter-allotment drainage and the associated easements have been provided for all residential lots that cannot be drained to the kerb and gutter. Inter-allotment drainage systems shall be designed and constructed in accordance with the requirements detailed in Council's <i>Specification for Construction of Subdivisional Road and Drainage Works (as amended)</i>, <i>Engineering Design for Development (as amended)</i> guide and the applicable <i>Development Control Plan</i>.</p> <p><i>Condition reason: To comply with Council's engineering requirements.</i></p> <p>D05.28.S</p>
83.	<p>Council fees and charges</p> <p>Prior to the principal certifying authority issuing an subdivision certificate, the applicant shall ensure that all applicable Council fees and charges associated with the development have been paid in full. Written confirmation will be provided to the applicant following Council's final inspection and satisfactory clearance of the public area adjacent the site.</p> <p><i>Condition reason: To ensure that there are no outstanding fees, charges or rectification works associated with the approved development.</i></p> <p>D05.40.S</p>
84.	<p>Compliance Certificate</p> <p>All the works on public area in relation to the development shall be completed as per the Council approved plans. A compliance certificate, approving the works, shall be obtained from Council prior to the principal certifying authority issuing an subdivision certificate.</p> <p><i>Condition reason: To ensure consistency with the approved documents.</i></p> <p>D05.99.S</p>
85.	<p>Road Safety Audit – Post Construction</p> <p>Prior to the dedication of the roads to Council, a Road Safety Audit of the completed works is to be undertaken by a suitably qualified person to identify any potential safety risks for the users of roads and pedestrian facilities (day to day usage and maintenance activities).</p> <p>The objective of the audit is to identify potential risks to the users of roads and pedestrian facilities and to ensure compliance with the approved plans and that the measures to eliminate or reduce identified risks as suggested in the report have been implemented prior to the dedication of the roads to Council.</p> <p><i>Condition reason: To minimise risks to the users of roads and pedestrians.</i></p> <p>D05.99.S</p>
86.	CCTV footage verifying of all new pipes and existing pipes

	<p>Prior to Council or an accredited certifier issuing a subdivision certificate, the applicant shall provide CCTV footage to Council for all new pipes and for all existing pipes which are modified by works prior to Linen release. The footage shall comply with the following requirements:</p> <ul style="list-style-type: none"> • The files shall be in MP4 format • file resolution shall be 640 by 480 pixels, 3Mbps and 25 frames per second • each pipe reach (i.e. between two pits) shall be provided as a separate file • the CCTV inspection shall be undertaken in accordance with the IPWEA Condition Assessment and Asset Performance Guidelines, Practice Note 5, Stormwater Drainage • the speed and panning of the footage shall be sufficient to demonstrate that there are no significant cracks in the pipe and that the joints have been properly constructed • the files shall have a name corresponding with the unique label provided in the associated stamped approved drawings and a summary report (*.pdf) shall accompany the data. <p>Note – All defects detected are to be brought to Council's attention. All repairs are to be agreed upon with Council prior to implementation.</p> <p><i>Condition reason: To comply with council's engineering requirements.</i></p> <p style="text-align: right;">D05.99.S</p>
87.	<p>Certification of Retaining Structures</p> <p>Prior to the appointed Principal Certifier issuing a subdivision certificate, all retaining structures shall be certified by an appropriately qualified engineer as having been constructed in accordance with the approved design. An electronic copy of all documentation shall be submitted to Council for its records.</p> <p><i>Condition reason: To ensure consistency with the approved documents.</i></p> <p style="text-align: right;">D05.99.S</p>

BEFORE ISSUE OF PRACTICAL COMPLETION

88.	<p>Inspection</p> <p>Prior to written Practical Completion, a representative of Campbelltown City Council is required to attend site for the purposes of inspection, identification of defects and approval. Campbelltown City Council are to be notified in writing of the intention to seek Practical Completion. The maintenance program, maintenance manuals, logbooks and warranties for all items within the site shall be submitted to Council at this time.</p> <p><i>Condition reason: To ensure consistency with the approved documents.</i></p> <p style="text-align: right;">D05.99.S</p>
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ONGOING CONDITIONS

89.	<p>Reporting & Ongoing Maintenance of Filterra System</p> <p>The ongoing reporting and maintenance of the proposed Filterra bio-retention system must satisfy the following requirements:</p> <ul style="list-style-type: none"> • The bio-retention system must be maintained by the applicant for at least 5 years from the construction of 80% of the building works, and a maintenance bond must be paid to council prior to release of a subdivision certificate. The bond is to be worked out in consultation with Council's Executive Manager Infrastructure (or equivalent) and Council's operation department.
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	<ul style="list-style-type: none"> • A testing regime is to be implemented to confirm performance and results to be supplied within 2-4 weeks after each storm events. The water testing is to be managed by Council with an agreed company at no cost to Council. • The operation and maintenance specification and schedule must be submitted to Council in the form of an operation and maintenance manual, and approved by Council's Executive Manager Infrastructure (or equivalent) prior to the issue of a subdivision works certificate. The results of maintenance works must be supplied to Council after each maintenance is carried out. • Written certification must be submitted prior to the handover of the Filterra bio-retention basin at the end of the 5 year maintenance period, confirming that the installed filter media complies with the design parameters used in the MUSIC model and the parameters.
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D05.99.S

4. General advisory notes

This consent contains the conditions imposed by the consent authority which are to be complied with when carrying out the approved development. However, this consent is not an exhaustive list of all obligations which may relate to the carrying out of the development under the EP&A Act, EP&A Regulation and other legislation. Some of these additional obligations are set out in the [Conditions of development consent: advisory notes](#). The consent should be read together with the *Conditions of development consent: advisory notes* to ensure the development is carried out lawfully.

The approved development must be carried out in accordance with the conditions of this consent. It is an offence under the EP&A Act to carry out development that is not in accordance with this consent.

Building work or subdivision work must not be carried out until a construction certificate or subdivision works certificate, respectively, has been issued and a principal certifier has been appointed.

A document referred to in this consent is taken to be a reference to the version of that document which applies at the date the consent is issued, unless otherwise stated in the conditions of this consent.

5. ADVISORY NOTES

A. Tree Preservation Order

To ensure the maintenance and protection of the existing natural environment, you are not permitted to ringbark, cut down, top, lop, remove, wilfully injure or destroy a tree outside three metres of the building envelope unless you have obtained prior written consent from Council. Fines may be imposed if you choose to contravene Council's Tree Preservation Order.

A tree is defined as a perennial plant with self supporting stems that are more than three metres or has a trunk diameter more than 150mm measured one metre above ground level, and excludes any tree declared under the *NSW Biosecurity Act 2015* or included within the NSW Governments Greater Sydney Strategic Management Plan 2017-2022.

DAADV.02

B. Filling on Site

Council's records in respect of this lot indicate that varying depths of filling covers the natural ground surface.

DAADV.06

C. Inspections – Civil Works

Where Council is nominated as the principal certifier for civil works, the following stages of construction shall be inspected by Council.

- a. EROSION AND SEDIMENT CONTROL –
 - i. Direction/confirmation of required measures.
 - ii. After installation and prior to commencement of earthworks.
 - iii. As necessary until completion of work.
- b. STORMWATER PIPES – Laid, jointed and prior to backfill.
- c. VEHICLE CROSSINGS AND LAYBACKS – Prior to pouring concrete.
- d. FINAL INSPECTION – All outstanding work.

DAADV.11

D. Inspection within Public Areas

All works within public areas are required to be inspected at all stages of construction and approved by Council prior to the principal certifier releasing the Occupation Certificate.

DAADV.12

E. Adjustment to Public Utilities

Adjustment to any public utilities necessitated by the development is required to be completed prior to the occupation of the premises and in accordance with the requirements of the relevant Authority. Any costs associated with these adjustments are to be borne by the applicant.

DAADV.13

F. Principal Certifier – Subdivision

Council is the principal certifier for the construction of the proposed subdivision and issue of the subdivision certificate and Council shall carry out all inspections required by the development consent. Work must not proceed past any inspection point until Council has approved the work inspected.

DAADV.14

G. Salinity

Please note that Campbelltown is an area of known salinity potential. As such any salinity issues should be addressed as part of the construction certificate application. Further information regarding salinity management is available within *Campbelltown (Sustainable City) DCP - Volumes 1 and 3 (as amended)*.

DAADV.20

H. Easements Over Council Controlled Lands

The applicant is advised that Council may seek monetary compensation for the granting of an easement over Council controlled lands. In this regard the applicant is required to liaise with Council's Property Manager.

DAADV.25

I. Bonds and Bank Guarantees

All bonds are to be provided in the form of Cash or a written Bank Guarantee from an Australian Banking Institution. Bonds will not be accepted in any other form or from any other institution.

DAADV.30

J. Dial before you Dig

Underground assets may exist in the area that is subject to your application. In the interests of health and safety and in order to protect damage to third party assets please contact Dial

before you dig at www.1100.com.au or telephone on 1100 before excavating or erecting structures (This is the law in NSW). If alterations are required to the configuration, size, form or design of the development upon contacting the Dial before you dig service, an amendment to the development consent (or a new development application) may be necessary. Individuals owe asset owners a duty of care that must be observed when working in the vicinity of plant or assets. It is the individual's responsibility to anticipate and request the nominal location of plant or assets on the relevant property via contacting the Dial before you dig service in advance of any construction or planning activities.

DAADV.31

K. Telecommunications Act 1997 (Commonwealth)

Telstra (and its authorised contractors) are the only companies that are permitted to conduct works on Telstra's network and assets. Any persons interfering with a facility or installation owned by Telstra is committing an offence under the Criminal Code Act 1995 (Cth) and is liable for prosecution.

Furthermore, damage to Telstra's infrastructure may result in interruption to the provision of essential services and significant costs. If you are aware of any works or proposed works which may affect or impact on Telstra's assets in any way, you are required to contact: Telstra's Network Integrity Team on phone number 1800 810 443.

DAADV.32

Attachment B: Approval from the Crown (applicant) for imposition of Conditions

Kha Huynh

From: Chao Jiang <cjiang@landcom.nsw.gov.au>
Sent: Friday, 11 July 2025 3:16 PM
To: Kha Huynh
Cc: Vanessa Pretila; Rodney Garrett; Mark Doria
Subject: RE: Stage 5 Airs - Draft Conditions
Attachments: DRAFT - Consent - 226 2024 DA-SW - VER 4.doc

CAUTION: This email has originated from outside of the organisation. Do not click links or open attachments unless you recognise the sender and know the content is safe.

Hi Kha,

I confirm acceptance of the draft consent conditions. Thank you for wrapping this up.

Regards,
Chao

From: Kha Huynh <Kha.Huynh@campbelltown.nsw.gov.au>
Sent: Friday, 11 July 2025 3:01 PM
To: Chao Jiang <cjiang@landcom.nsw.gov.au>
Cc: Vanessa Pretila <vpretila@landcom.nsw.gov.au>; Rodney Garrett <rodney.garrett@homes.nsw.gov.au>; Mark Doria <mark.doria@homes.nsw.gov.au>
Subject: RE: Stage 5 Airs - Draft Conditions

CAUTION: This email originated from outside of the Landcom network. Do not click links or open attachments unless you recognise the sender and are expecting the content or attachment from the sender.

Hi Chao,

Apologies for previous corrupted file. Please refer to this new one.

Kind regards

Kha Huynh
Senior Town Planner



P: 02 4645 4608
E: Kha.Huynh@campbelltown.nsw.gov.au
W: www.campbelltown.nsw.gov.au



Campbelltown City Council acknowledges and respects the Dharawal people as traditional custodians of this land, and extends these respects to all Aboriginal Elders, past and present, and people from all Aboriginal nations.



This email (including any attachments) may contain confidential and/or legally privileged information and is intended only to be read or used by the addressee. If you are not the intended addressee, any use, distribution, disclosure or copying of this email is strictly prohibited.

Attachment C: Tables of Compliance

The purpose of Campbelltown (Sustainable City) Development Control Plan 2015 (SCDCP 2015) is to provide more detailed provisions to supplement the Campbelltown Local Environmental Plan 2015 (CLEP 2015).

Pursuant to Clause 4.15(1)(a)(iii) Council is required to consider the relevant provisions of the applicable development control plan of the Campbelltown Local Government Area (LGA), being SCDCP 2015.

The following details the assessment of the proposal in accordance with the relevant requirements of the Campbelltown (Sustainable City) Development Control Plan 2015.

Part 2 - Requirements Applying to All Types of Development

The general provisions of Part 2 of the Plan apply to all types of development.

Compliance with the relevant provisions of Part 2 of the Plan is discussed as follows:

Campbelltown (Sustainable City) Development Control Plan			
Control	Requirement	Proposed	Complies
2.5 Landscaping			
2.5 d) ii) Landscape Concept Plan	A landscape concept plan is required to be submitted with a development application for residential subdivision.	Street tree landscape plan details have been submitted as a component of the proposal.	Complies
2.5 e) Design Requirements	The Landscape Concept Plan shall illustrate mature height, spread of species, trees to be removed/ retained and shall be prepared by a suitably qualified person.	A Landscape plan accompanies this application and is considered to be sufficient.	Complies
2.5 f) Design Requirements	Landscaping shall maximise the use of locally indigenous and other drought tolerant native plants and avoid the use of invasive species.	Locally endemic species proposed.	Complies
2.7 Erosion and Sediment Control			
2.7 a) Design Requirements	An Erosion and Sediment Control Plan (ESCP) shall be prepared and submitted with a development application proposing construction and/or activities involving the disturbance of the land surface.	ESCP submitted. Recommended condition of consent for implementation prior to the commencement of any works.	Complies
2.8 Cut, Fill and Floor Levels			

Campbelltown (Sustainable City) Development Control Plan			
Control	Requirement	Proposed	Complies
2.8.1 a) Cut and Fill	A Cut and Fill Management Plan (CFMP) shall be submitted with a development application where the development incorporates cut and/or fill operations.	A Cut and Fill Management Plan accompanies this application. The applicant has noted that suitable material will be reused on the site as fill, and unsuitable materials will be removed.	Complies
2.10 Water Cycle Management			
2.10.3 a) Stormwater Drainage	A stormwater Drainage Concept Plan shall be prepared by a suitably qualified person, and submitted with all development applications, involving construction (except for internal alterations/fitouts), demonstrating to Council how the stormwater will be collected and discharged from the site.	Stormwater Drainage Concept Plan submitted. and is considered satisfactory.	Complies
2.10.3 b) Stormwater Drainage	The stormwater concept plan shall include the following information as a minimum: i) locations, layouts and sizes of stormwater pipes and pits; ii) minimum grades and capacity of stormwater pipes; and iii) existing and proposed easements, site contours and overland flow path/s.	Stormwater Drainage Concept Plan submitted and is considered satisfactory.	Complies
2.15 Waste Management			
2.15.1 a) Waste Management Plan	A detailed 'Waste Management Plan' (WMP) shall accompany development applications for certain types of development/land uses.	Submitted, and is considered satisfactory.	Complies

Part 3 – Low and Medium Density Residential Development and Ancillary Residential Structures

The development application was further assessed under the relevant controls outlined in Part 3 of the SCDCP 2015 with regard to requirements for residential development.

Control	Requirement	Proposed	Compliance
3.8.1(a)	Subdivision shall have appropriate regard to orientation, slope, aspect and solar access.	The subdivision pattern appropriately responds to the site constraints presents by the surrounding lots.	Complies
3.8.1(b)	Subdivision design shall comply with the requirements specified in Council's Engineering Design Guide for Development	The proposal was reviewed by Council's Engineer and appropriate conditions of consent were recommended.	Complies
3.8.1(f)	All allotments within a subdivision that are located adjacent to the intersection of local public roads (existing or proposed) shall provide a splay in accordance with Council's Engineering Design Guide for Development to ensure adequate sight distances and maintain footpath widths.	Corner splays are provided to corner lots.	Complies
3.8.1(g)	Residential subdivision shall be designed to address the public domain.	The allotments are designed to address the public domain.	Complies

Campbelltown (Sustainable City) Development Control Plan 2015 – Volume 2: Site Specific DCPs: Part 9 – Urban Renewal Areas Airds Claymore

The proposed development has been assessed having regard to the relevant numerical and design standards within Council's (Sustainable City) Development Control Plan 2015 (SCDCP 2015). The following table sets out the proposal's compliance with the applicable provisions and numerical standards of the Plan:

Campbelltown (Sustainable City) Development Control Plan			
Control	Requirement	Proposed	Complies
8. Neighbourhood Subdivision			
8.3.1 Design Requirements	1. All neighbourhood subdivisions shall be generally consistent with the Concept Plan approval for Claymore and Airds Bradbury and generally as shown in Figures 1 and 2 regarding the location of open space areas, public	The proposed subdivision is considered generally consistent with the with the concept plans for the Airds area.	Complies

Campbelltown (Sustainable City) Development Control Plan			
Control	Requirement	Proposed	Complies
	roads and proposed residential development.		
	<p>2. No further subdivision of allotment following the neighbourhood subdivision, shall be permitted unless:</p> <p>a) the allotment is located in an area identified in Figures 3 and 4 as future development lots or seniors living; or</p> <p>b) The land is located in an area identified in Figure 3 as existing residential areas and the subdivision is a re-subdivision of existing lots in the ownership of NSW Land and Housing Corporation; or</p> <p>c) The land is located on any of the following streets within the Claymore Urban Renewal Area (Figure 4) and the subdivision is a re-subdivision of existing lots in the ownership of NSW Land and Housing Corporation:</p> <p>i. Carter Place;</p> <p>ii. Drysdale Street;</p> <p>iii. Crozier Street, Blake Place and Auld Place;</p> <p>iv. Boyd Street;</p> <p>v. Fairweather Place;</p> <p>vi. Gould Road; or</p> <p>d) The size of any lot</p>	<p>The subject site is located within Figure 3 and has been identified as "new residential areas" and "Future Development Lots" in the ownership of NSW Land and Housing Corporation.</p> <p>This requirement negates point d) as minimum lot size less than that permissible under the Campbelltown Local Environmental Plan 2015 is permissible under this DCP.</p>	Yes

Campbelltown (Sustainable City) Development Control Plan			
Control	Requirement	Proposed	Complies
	<p>resulting from a subdivision of land is not to be less than the minimum size allowed for that land under CLEP 2015.</p> <p>e) The subdivision is a strata subdivision or community title subdivision.</p>		
8.4 Neighbourhood Subdivision – Allotment Size and Design	1. Design of residential allotments shall have regard for the impact of orientation, slope, and aspect to facilitate solar access to future dwelling development.	The proposed subdivision has regard for impact of orientation, slope, and aspect to facilitate solar access to future dwelling development.	Yes
	2. All proposed allotments shall have a street frontage.	The proposed lots include street frontages.	Yes
	3. Battle axe lots shall only be permitted where a street frontage cannot otherwise be provided because of existing conditions including the size and shape of a residual parcel.	The proposed subdivision does not include any battle axe lots.	N/A
	4. All allotments intended for dwellings will have a minimum site area of 200m ² with a minimum width measured at the building line of 6 metres.	The proposed lots are capable of providing a minimum site area of 200m ² with a minimum width measured at the building line of 6 metres.	Yes
	5. Any allotment with a width to the street frontage of less than 9 metres is to have the garage located to the rear of the property accessed from a rear lane or accessway.	The proposed development does not include any lots with a street frontage of less than 9 metres.	N/A

Campbelltown (Sustainable City) Development Control Plan			
Control	Requirement	Proposed	Complies
	6. Allotments are to have a minimum depth of 25 metres.	The proposed lots provide a minimum depth of 25 metres.	Yes

Attachment D: Associated Plans



CAUTION
THIS PLAN WAS PREPARED AS A DRAFT PLAN OF SUBDIVISION ONLY. THE INFORMATION SHOWN ON THE PLAN IS NOT SUITABLE FOR ANY OTHER PURPOSE. THE DIMENSIONS, AREAS, NUMBER OF LOTS, SIZE AND LOCATION OF EASEMENTS, AND RESTRICTIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE ONLY AND MAY VARY WHEN MORE DETAILED INFORMATION IS AVAILABLE. CAUTION SHOULD BE EXERCISED IF ANY RELIANCE IS PLACED ON THE INFORMATION ON THIS PLAN FOR ANY FINANCIAL DEALINGS INVOLVING THE LAND. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN.

DRAWING FILE LOCATION / NAME
X:\Projects\300178\300178185.5\11. CAD - ALL DRAWINGS IN VAULT\01_Dwg\07_Planning\78185.05.P01.v02-2024.09.25.dwg

EXTERNAL REFERENCE FILES [\(DP 10 30 40515\)](#)

REV	DATE	AMENDMENT / REVISION DESCRIPTION	WVR No.	APPROVAL	TITLE	NAME
01	05.10.2023	ISSUE FOR DA			DRAFTER	G. WARREN
02	25.09.2024	AMENDMENT TO APZ RESTRICTION ZONE (SHEET 1)		AE	DRAFTING CHECK	G. WARREN
					DESIGNER	A. ESTEPHEN
					DESIGN CHECK	G. FLEMING
					PROJECT MANAGER	A. ESTEPHEN
					PROJECT DIRECTOR	G. FLEMING

PLOT DATE
25 Sep 2024

TIME
08:51:15

SCALE 1:600 AT A1 SIZE DRAWING

DESIGNER

**SMC**

Member of the Surbana Jurong Group
© ABN 47 065 475 149
LEVEL 2, 6-8 REGENT STREET
WOLLONGONG NSW 2500
PH 02 9925 5555

SMC PROJECT No. 300178185.05

CLIENT

 **Land & Housing Corporation**

PROJECT TITLE

AIRDS/BRADBURY RENEWAL - STAGE 5
PROPOSED PLAN OF SUBDIVISION
SHEET 1 of 2
CAMPBELLTOWN CITY COUNCIL

SCALE 1:600	PHASE APPROVAL	PROJECT / DRAWING No. 300178185.05.P01	REVISION 02
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PROPOSED PLAN OF SUBDIVISION OF LOT 11 DP700045, LOT 92 DP716051, LOT 1021 DP717128, LOT 1361 DP1095935, LOTS 1320 TO 1323 DP1066229, LOT 1000 DP1188934, LOT 1356 DP1095935 (KNOWN AS MUNGADAL WAY), PART OF PEPPIN CRESCENT (18 WIDE) TO BE CLOSED (LOT 502 DP1283159), PATHWAY TO BE CLOSED (LOT 501 DP1283159) AND PART OF UNFORMED CROWN ROAD (20.115 WIDE) TO BE CLOSED.

No.	BEARING	DIST	ARC	RADIUS
1	119°04'40"	12.585	13.98	8.9
2	167°14'10"	10.185	10.19	92.4
3	173°06'30"	8.75	8.75	92.4
4	198°47'35"	36.995	38.005	47.4
5	222°25'45"	1.1	1.1	47.4
6	199°27'25"	49.955	51.4	62.3
7	331°09'45"	12.995	13.085	32.6
8	341°07'55"	2.53	2.53	47.4
9	333°28'05"	10.13	10.15	47.4
10	322°28'25"	8.035	8.04	47.4
11	40°22'35"	10.2	10.205	107.6
12	33°29'45"	15.625	15.64	107.6
13	216°12'45"	22.21	22.265	92.7
14	243°03'40"	19.435	20.605	17.5
15	199°26'45"	29.9	29.955	144.15
16	189°23'45"	20.6	20.615	144.15
17	2°35'40"	13.6	13.605	144.15
18	357°23'45"	12.555	12.555	144.15
19	352°39'20"	11.29	11.295	144.15
20	348°10'30"	11.25	11.255	144.15
21	345°05'30"	4.265	4.265	144.15
22	164°16'10"	0.11	0.11	126.15
23	183°05'	4.19	4.19	79.42
24	356°02'10"	15.32	15.345	79.42
25	347°56'30"	7.1	7.1	79.42
26	73°37'55"	7.865	7.865	507.4
27	72°37'25"	10.005	10.005	507.4
28	71°37'10"	7.77	7.77	507.4
29	71°25'50"	4.305	4.305	492.6
30	72°14'35"	9.655	9.655	492.6
31	252°22'	8.505	8.505	507.4
32	251°32'	6.25	6.25	507.4
33	71°13'50"	0.87	0.87	492.6
34	72°36'25"	22.8	22.8	492.6
35	74°00'20"	1.225	1.225	492.6

- (R) PART OF LOT 1356 DP1095935 (MUNGADAL WAY) TO BE DEDICATED TO THE PUBLIC AS PUBLIC ROAD
- (CR) LOT 502 DP1283159 - PART OF PEPPIN CRESCENT (18 WIDE) TO BE CLOSED (PRIOR TO SUBDIVISION)
- (AA) EXISTING EASEMENT TO DRAIN WATER 4 WIDE (DP 1066229)
- (BB) EXISTING EASEMENT TO DRAIN WATER 2 WIDE (DP 1095935)
- (CC) EXISTING EASEMENT TO DRAIN WATER 2 WIDE (DP 1095935) TO BE RELEASED
- (DD) EXISTING EASEMENTS FOR SUPPORT 0.13 WIDE (DP 1066229) TO BE RELEASED
- (A) PROPOSED RESTRICTION ON THE USE OF LAND FOR ASSET PROTECTION ZONE

CONTINUED

SHEET 2

DP 1 0 0 0 0 0 0

DP 1 0 0 0 0 0 0

DP 1 0 0 0 0 0 0

DP 1 0 0 0 0 0 0

DP 1 0 0 0 0 0 0

DP 1 0 0 0 0 0 0

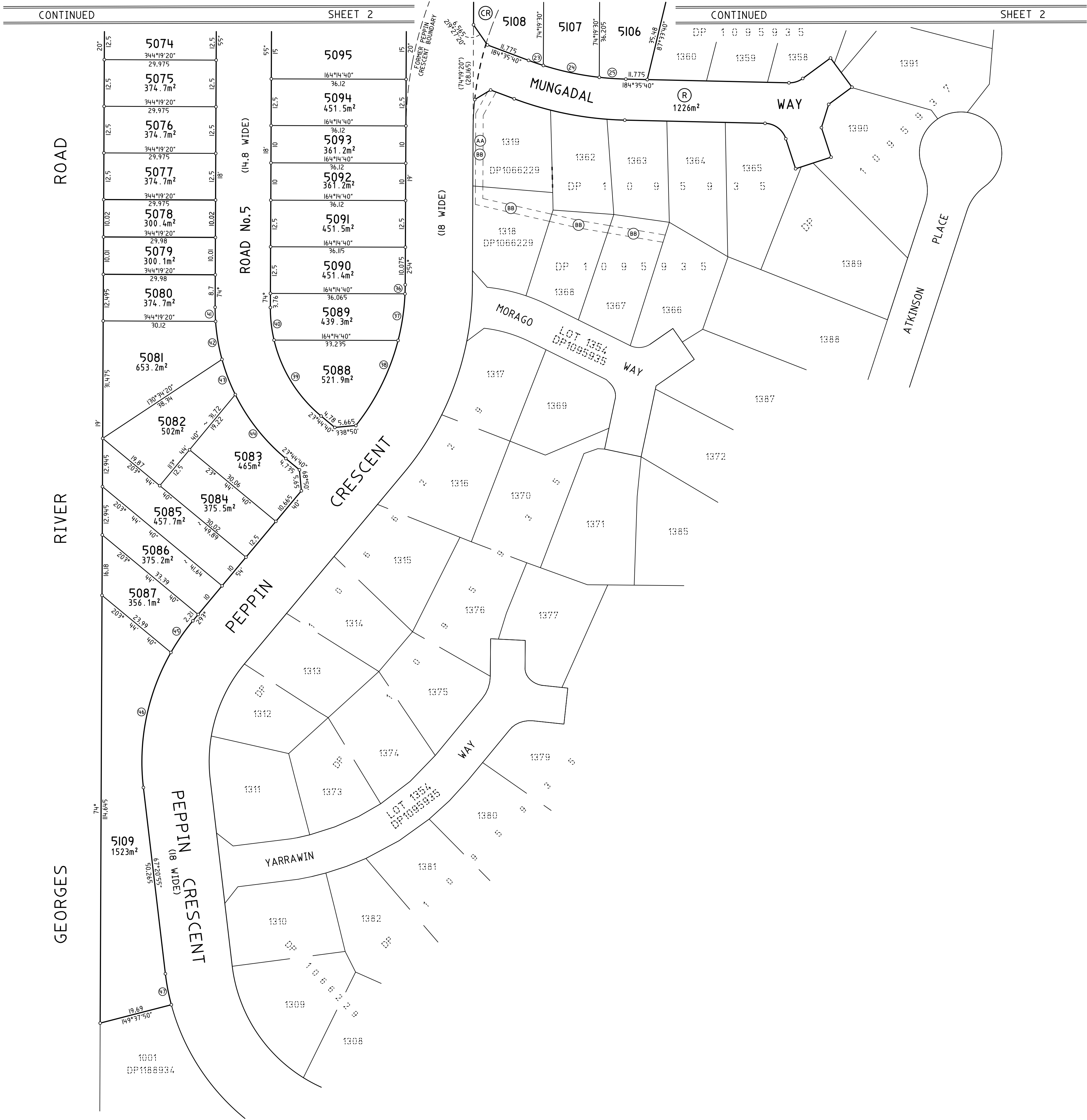
DP 1 0 0 0 0 0 0

DP 1 0 0 0 0 0 0

DP 1 0 0 0 0 0 0

150 mm ON ORIGINAL

A1



CAUTION
THIS PLAN WAS PREPARED AS A DRAFT PLAN OF SUBDIVISION ONLY. THE INFORMATION SHOWN ON THE PLAN IS NOT SUITABLE FOR ANY OTHER PURPOSE. THE DIMENSIONS, AREAS, NUMBER OF LOTS, SIZE AND LOCATION OF EASEMENTS, AND RESTRICTIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE ONLY AND MAY VARY WHEN MORE DETAILED INFORMATION IS AVAILABLE. CAUTION SHOULD BE EXERCISED IF ANY RELIANCE IS PLACED ON THE INFORMATION ON THIS PLAN FOR ANY FINANCIAL DEALINGS INVOLVING THE LAND. THIS NOTE IS AN INTEGRAL PART OF THIS PLAN.

SCHEDULE OF SHORT & CURVED BOUNDARIES

No.	BEARING	DIST	ARC	RADIUS
23	183°05'	4.19	4.19	79.42
24	356°02'10"	15.32	15.345	79.42
25	347°56'30"	7.1	7.1	79.42
36	75°28'05"	2.425	2.425	61.165
37	82°31'50"	12.63	12.655	61.165
38	100°27'40"	25.445	25.63	61.165
39	42°18'45"	23.945	24.37	37.6
40	67°35'50"	8.795	8.82	37.6
41	72°14'20"	3.8	3.8	52.4
42	64°30'25"	10.33	10.345	52.4
43	53°19'45"	10.085	10.1	52.4
44	35°46'35"	21.845	22.005	52.4
45	288°51'15"	10.325	10.34	59
46	265°35'35"	36.935	37.565	59
47	63°11'35"	8.46	8.47	59

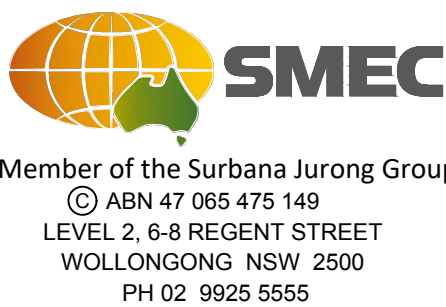
- (R) PART OF LOT 1356 DP1095935 (MUNGADAL WAY) TO BE DEDICATED TO THE PUBLIC AS PUBLIC ROAD
- (CR) LOT 502 DP1283159 - PART OF PEPPIN CRESCENT (18 WIDE) TO BE CLOSED (PRIOR TO SUBDIVISION)
- (AA) EXISTING EASEMENT TO DRAIN WATER 2 WIDE (DP 1066229)
- (BB) EXISTING EASEMENT TO DRAIN WATER 2 WIDE (DP 1095935)

PROPOSED PLAN OF SUBDIVISION OF LOT 11 DP700045, LOT 92 DP716051, LOT 1021 DP717128, LOT 1361 DP1095935, LOTS 1320 TO 1323 DP1066229, LOT 1000 DP1188934, LOT 1356 DP1095935 (KNOWN AS MUNGADAL WAY), PART OF PEPPIN CRESCENT (18 WIDE) TO BE CLOSED (LOT 502 DP1283159), PATHWAY TO BE CLOSED (LOT 501 DP1283159) AND PART OF UNFORMED CROWN ROAD (20.115 WIDE) TO BE CLOSED.

DRAWING FILE LOCATION / NAME X:\Projects\300178\300178185.5\11. CAD - ALL DRAWINGS IN VAULT\01_Dwg\07_Planning\78185.05.P01.v02-2024.09.25.dwg				PLOT DATE 25 Sep 2024		TIME 08:50:42	
EXTERNAL REFERENCE FILES (UP TO 10 XREFS)	REV	DATE	AMENDMENT / REVISION DESCRIPTION	WVR No.	APPROVAL	TITLE	NAME
	01	05.10.2023	ISSUE FOR DA			DRAFTER	G. WARREN
	02	25.09.2024	AMENDMENT TO AP2 RESTRICTION ZONE (SHEET 1)		AE	DRAFTING CHECK	G. WARREN
						DESIGNER	A. ESTEPHEN
						DESIGN CHECK	G. FLEMING
						PROJECT MANAGER	A. ESTEPHEN
						PROJECT DIRECTOR	G. FLEMING

SCALE 1:600 AT A1 SIZE DRAWING

DESIGNER



CLIENT



PROJECT TITLE

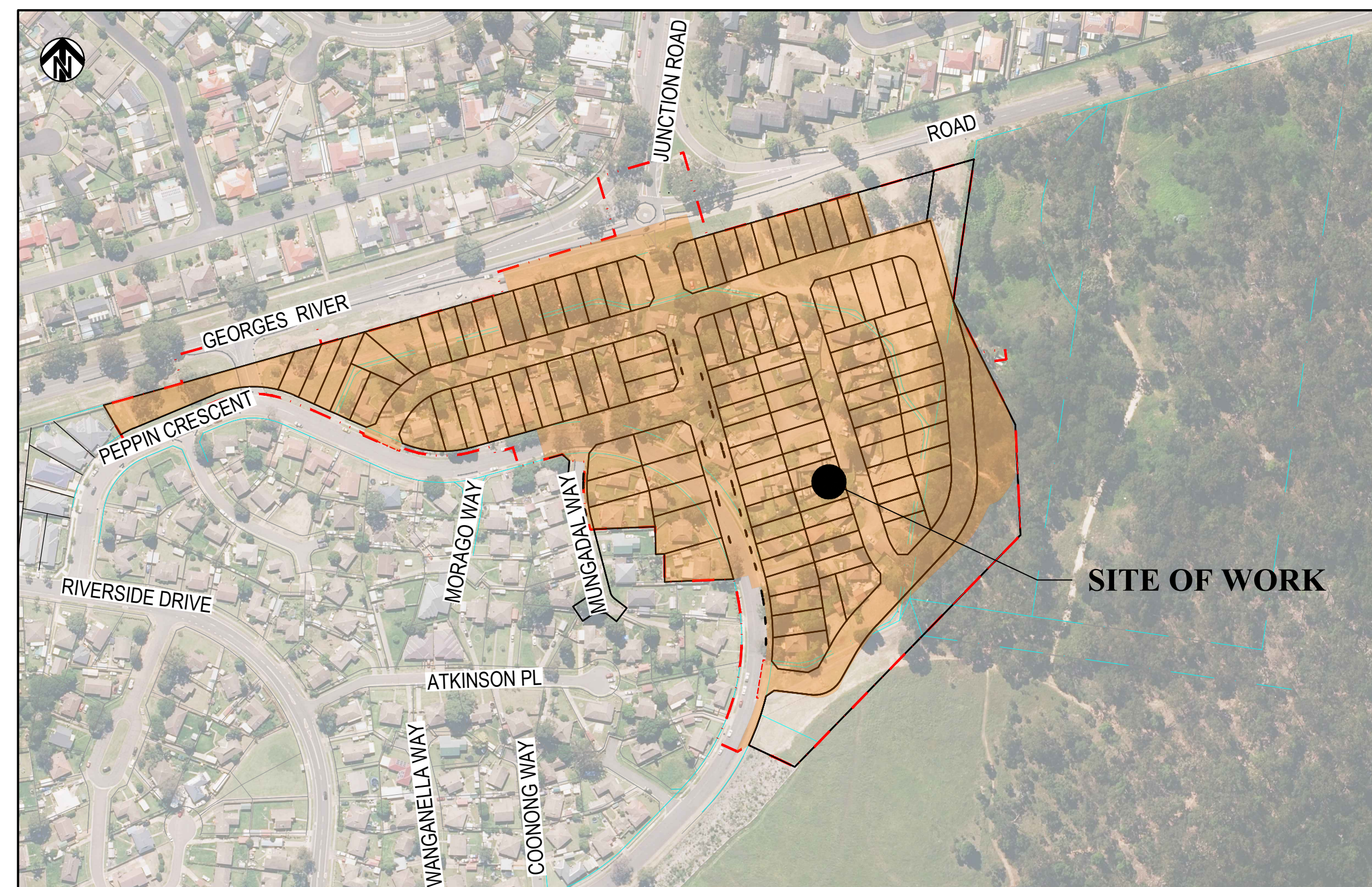
AIRDS/BRADBURY RENEWAL - STAGE 5
PROPOSED PLAN OF SUBDIVISION
SHEET 2 of 2
CAMPBELLTOWN CITY COUNCIL

SCALE 1:600	PHASE APPROVAL	PROJECT / DRAWING No. 300178185.05.P01	REVISION 02
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REVISION 02 ~ 25/09/2024

AIRDS RE-DEVELOPMENT - STAGE 5 PROPOSED RESIDENTIAL SUBDIVISION DEVELOPMENT APPLICATION

LOCAL PEOPLE
GLOBAL EXPERIENCE



LOCALITY PLAN
SCALE 1:2500
SCALE 1:2500 25 0 50 100



CONTACT DIAL BEFORE YOU
DIG PRIOR TO COMMENCING
ANY EXCAVATION WORKS

150 mm ON ORIGINAL

A1

300178185.5.DA001
300178185.5.DA002
300178185.5.DA011
300178185.5.DA012
300178185.5.DA031
300178185.5.DA032
300178185.5.DA033
300178185.5.DA041
300178185.5.DA042
300178185.5.DA051
300178185.5.DA052
300178185.5.DA101
300178185.5.DA102
300178185.5.DA103
300178185.5.DA201
300178185.5.DA202
300178185.5.DA203
300178185.5.DA351
300178185.5.DA501
300178185.5.DA551
300178185.5.DA651
300178185.5.DA801
300178185.5.DA811
300178185.5.DA812
300178185.5.DA813
300178185.5.DA814
300178185.5.DA815
300178185.5.DA851
300178185.5.DA861

SHEET SCHEDULE	
DRAWING	DESCRIPTION
300178185.5.DA001	COVER SHEET & LOCALITY PLAN
300178185.5.DA002	SHEET SCHEDULE & NOTES
300178185.5.DA011	DEMOLITION PLAN
300178185.5.DA012	EXISTING SERVICES PLAN
300178185.5.DA031	GENERAL ARRANGEMENT PLAN
300178185.5.DA032	ROAD HIERARCHY PLAN
300178185.5.DA033	EXTERNAL EXTENTS PLAN
300178185.5.DA041	TYPICAL ROAD CROSS SECTIONS SHEET 1
300178185.5.DA042	TYPICAL ROAD CROSS SECTIONS SHEET 2
300178185.5.DA051	CUT AND FILL PLAN
300178185.5.DA052	CONTAMINATION CELLS PLAN
300178185.5.DA101	CIVIL WORKS PLAN SHEET 1
300178185.5.DA102	CIVIL WORKS PLAN SHEET 2
300178185.5.DA103	CIVIL WORKS PLAN SHEET 3
300178185.5.DA201	ROAD LONGITUDINAL SECTIONS SHEET 1
300178185.5.DA202	ROAD LONGITUDINAL SECTIONS SHEET 2
300178185.5.DA203	ROAD LONGITUDINAL SECTIONS SHEET 3
300178185.5.DA351	PAVEMENT PLAN
300178185.5.DA501	DRAINAGE CATCHMENT PLAN
300178185.5.DA551	BIO-RETENTION BASIN PLAN AND SECTION
300178185.5.DA651	RETAINING WALL DETAILS
300178185.5.DA801	SIGNAGE AND LINE MARKING PLAN
300178185.5.DA811	TURNING PATHS PLAN SHEET 1
300178185.5.DA812	TURNING PATHS PLAN SHEET 2
300178185.5.DA813	TURNING PATHS PLAN SHEET 3
300178185.5.DA814	TURNING PATHS PLAN SHEET 4
300178185.5.DA815	TURNING PATHS PLAN SHEET 5
300178185.5.DA851	SOIL & WATER MANAGEMENT PLAN
300178185.5.DA861	SOIL & WATER MANAGEMENT DETAILS
TOTAL NUMBER OF SHEETS	29

GENERAL NOTES:

1. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH CAMPBELLTOWN COUNCIL'S SPECIFICATIONS AND TO THE REQUIREMENTS OF COUNCIL'S ENGINEER.
2. INSPECTIONS BY THE CAMPBELLTOWN COUNCIL'S ENGINEER SHALL BE CARRIED OUT AT THE FOLLOWING STAGES:

2.1. PRIOR TO INSTALLATION OF EROSION AND SEDIMENT CONTROL STRUCTURES

2.2. PRIOR TO BACKFILLING PIPELINES, SUBSOIL DRAINS AND DAMS

2.3. PRIOR TO CASTING OF PITS AND OTHER CONCRETE STRUCTURES, INCLUDING KERB AND GUTTER BUT FOLLOWING PLACEMENT OF FOOTINGS, FORMWORK AND REINFORCEMENT
- 2.4. PRIOR TO PLACEMENT OF SUB BASE AND ALL SUBSEQUENT PAVEMENT LAYERS, A PROOF ROLLER TEST OF EACH PAVEMENT LAYER IS REQUIRED
- 2.5. FORMWORKS PRIOR TO POURING CONCRETE IN PARKING AREA FOR FOOTPATH CROSSING AND OTHER ASSOCIATED WORK.
- 2.6. PRIOR TO BACKFILLING PUBLIC UTILITY CROSSINGS IN ROAD RESERVES
- 2.7. FINAL INSPECTION AFTER ALL WORKS ARE COMPLETED AND 'WORK AS EXECUTED' PLANS HAVE BEEN SUBMITTED TO COUNCIL

3. NO TREES TO BE REMOVED UNLESS APPROVAL IS GRANTED BY COUNCIL'S LANDSCAPE COMPLIANCE OFFICER.

4. MAKE SMOOTH JUNCTIONS WITH EXISTING WORKS.

5. NO WORK TO BE CARRIED OUT ON COUNCIL PROPERTY OR ADJOINING PROPERTIES WITHOUT THE WRITTEN PERMISSION FROM THE OWNER/S.

6. VEHICULAR ACCESS AND ALL SERVICES TO BE MAINTAINED AT ALL TIMES TO ADJOINING PROPERTIES AFFECTED BY CONSTRUCTION.

7. ALL RUBBISH, BUILDINGS, SHEDS AND FENCES TO BE REMOVED TO SATISFACTION OF COUNCIL'S ENGINEER.

8. THE CONTRACTOR SHALL OBTAIN ALL LEVELS FROM ESTABLISHED BENCH MARKS ONLY.

9. PERMANENT SURVEY CO-ORDINATION MARKS MUST BE PLACED WITHIN THE SUBDIVISION IN ACCORDANCE WITH THE SURVEYORS ACT AND REGULATIONS.

10. PLACE AND LEVEL NEW S.S.M.'S TO DEPARTMENT OF LAND & REGISTRY SERVICES REQUIREMENT IN POSITION AS DIRECTED BY THE CONSULTING SURVEYOR AND SHOW ON WORKS-AS-EXECUTED PLANS.

11. ANY DISCREPENCY TO BE REPORTED TO THE SUPERINTENDENT AND SMEC IMMEDIATELY SO THAT FURTHER INFORMATION MAY BE OBTAINED FROM SMEC.

12. THE SITE MUST BE ENCLOSED WITH A SUITABLE TEMPORARY 'A' CLASS TYPE HOARDING OR SECURITY FENCE OF A TYPE APPROVED BY THE CONSENT AUTHORITY. SUCH HOARDING MUST NOT ENCROACH UPON THE ROAD RESERVE OR OTHER PRIVATE LAND WITHOUT THE WRITTEN CONCURRENCE OF THE AFFECTED PROPERTY OWNER. IF IT IS PROPOSED TO LOCATE SUCH A HOARDING WITHIN ANY PROPERTY OWNED/CONTROLLED BY CAMPBELLTOWN COUNCIL, A PUBLIC ROAD ACTIVITY APPLICATION MUST BE SUBMITTED TO AND APPROVED BY COUNCIL, PRIOR TO THE HOARDING BEING ERECTED.

13. CONSTRUCTION ACCESS FROM PUBLIC PLACES I.E. ROADS, RESERVES, PARKS, WALKWAYS AND THE LIKE, OTHER THAN THAT APPROVED BY THIS DEVELOPMENT CONSENT WILL NOT BE PERMITTED WITHOUT THE PRIOR

CONSENT OF CAMPBELLTOWN COUNCIL.

14. PRIOR TO THE COMMENCEMENT OF ANY WORK WITHIN THE SITE A SIGN (MINIMUM SIZE OF 300mm X 400mm) MUST BE INSTALLED WITHIN THE SITE ADVISING OF THE FOLLOWING:

14.1. FULL DETAILS OF THE PCA

14.2. FULL DETAILS OF THE CONSTRUCTION CERTIFICATE

14.3. FULL DETAILS OF DEVELOPMENT CONSENT, AND

14.4. FULL DETAILS OF THE BUILDER/CONTRACTOR THE SIGN MUST BE LOCATED WITHIN THE SITE AND CLEARLY VISIBLE AND LEGIBLE FROM THE ROAD FOOTWAY, AND MUST BE DISPLAYED FOR THE DURATION OF THE CONSTRUCTION WORKS.

15. ALL LEVELS ARE TO AUSTRALIAN HEIGHT DATUM.

EARTHWORKS NOTES:

1. EARTHWORKS ARE TO BE CARRIED OUT TO THE SATISFACTION OF THE COUNCIL. UNSUITABLE MATERIALS ARE TO BE REMOVED FROM ROADS AND LOTS PRIOR TO FILLING. THE CONTRACTOR IS TO ARRANGE AND MAKE AVAILABLE COMPACTION TESTING RESULTS FOR ALL AREAS THAT CONTAIN FILL IN EXCESS OF 200mm.
2. COMPACTION OF EARTHWORKS SHALL CONTINUE UNTIL A DRY DENSITY RATIO OF 98% FOR SITE FILLING AND 100% FOR ROAD PAVEMENT SUBGRADES HAS BEEN ACHIEVED IN ACCORDANCE WITH TEST METHOD AS1289.5.3.1 OR AS1289.5.1.1. THE CONTROL TESTING OF EARTHWORKS SHALL BE IN ACCORDANCE WITH THE GUIDELINES IN AS3798 'GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS'. WHERE IT IS PROPOSED TO USE TEST METHOD AS1289.5.8.1 TO DETERMINE THE FIELD DENSITY, A SAND REPLACEMENT METHOD SHALL BE USED TO CONFIRM THE RESULTS.
3. THE SUITABLY QUALIFIED GEOTECHNICAL ENGINEER, SHALL HAVE A LEVEL 1 RESPONSIBILITY FOR ALL FILLING AS DEFINED IN APPENDIX B AS3798 GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS', AND AT THE END OF THE WORKS SHALL CONFIRM THE EARTHWORKS COMPLY WITH THE REQUIREMENTS OF THE SPECIFICATION AND DRAWINGS BY WRITTEN NOTIFICATION.
4. IN AREAS TO BE FILLED WHERE THE SLOPE OF THE NATURAL SURFACE EXCEEDS 1(V):4(H), BENCHES ARE TO BE CUT TO PREVENT SLIPPING OF THE PLACED FILL MATERIAL AS REQUIRED BY THE COUNCIL.
5. ALL BATTERS ARE TO BE SCARIFIED TO A DEPTH OF 50mm TO ASSIST WITH ADHESION OF TOP SOIL TO BATTER FACE.
6. PROVIDE MINIMUM 150mm AND MAXIMUM 300mm TOPSOIL ON FOOTPATHS, FILLED AREAS AND ALL OTHER AREAS DISTURBED DURING CONSTRUCTION. TOPSOILED AREAS TO BE STABILISED WITH APPROVED VEGETATION A MAXIMUM OF 14 DAYS AFTER TOPSOILING AND ARE TO BE WATERED TO ENSURE GERMINATION.
7. THE CONTRACTOR SHALL CONTROL SEDIMENTATION, EROSION AND POLLUTION DURING CONSTRUCTION IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT EDITION OF MANAGING URBAN STORMWATER: SOILS AND CONSTRUCTION' PRODUCED BY LANDCOM.
8. A MINIMUM 1 METRE WIDE, CONTINUOUS STRIP OF COUCH GRASS SHALL BE PLACED BEHIND THE BACK OF ALL KERBS AND OTHER CONCRETE STRUCTURES IMMEDIATELY AFTER THE COMPLETION OF THE FOOTPATH GRADING OR OTHER ELEMENTS AS APPLICABLE, AND SHALL BE MAINTAINED AND REPLACED AS REQUIRED DURING THE CONSTRUCTION MAINTENANCE PERIOD AND MAINTENANCE PERIODS.

SERVICES NOTES:

1. SERVICE CONDUITS TO BE PLACED AS DIRECTED BY ENDEAVOUR, NBN CO. AND AS REQUIRED BY SYDNEY WATER CORPORATION.
2. EXISTING UNDERGROUND SERVICES SHOWN AS PART OF THIS DRAWING SET HAVE BEEN DIGITALLY PROVIDED OR DIGITISED FROM SURVEY AND DBYD INFORMATION. THIS INFORMATION HAS BEEN SHOWN ONLY TO PROVIDE APPROXIMATE LOCATION OF SERVICES AT THE TIME OF PREPERATION OF THIS DRAWING SET. SERVICES SHALL NOT BE ASSUMED TO BE AS CONSTRUCTED OR ACCURATE. SMEC DOES NOT GUARANTEE OR ACCEPT ANY LIABILITY FOR THEIR PRESENCE OR ABSENCE. IT IS THE CONTRACTORS RESPONSIBILITY TO UNDERTAKE DBYD SEARCHES AND ESTABLISH THE LOCATION AND LEVEL OF ALL EXISTING SERVICES PRIOR TO COMMENCEMENT OF WORKS. ANY VARIATION TO THE INFORMATION ON THIS DRAWING SET IS TO BE REPORTED TO THE SUPERINTENDENT AND SMEC IMMEDIATELY. ALL SEARCH RESULTS TO BE AVAILABLE ON SITE AT ALL TIMES.
3. PUBLIC UTILITY SERVICES ARE TO BE ADJUSTED AS NECESSARY.
4. PROPOSED SERVICE CROSSING TO BE THRUST BORED UNDER EXISTING ROAD PAVEMENT. CONTRACTOR TO REPAIR ANY DAMAGE TO EXISTING SURFACE.
5. ALL SYDNEY WATER HYDRANTS ARE TO BE CLEARLY IDENTIFIABLE BY APPROPRIATE KERB MARKINGS AND BLUE COLOURED RAISED REFLECTIVE PAVEMENT MARKERS PLACED AT THE CENTRELINE OF THE ROAD OPPOSITE THE HYDRANT. THESE PAVEMENT MARKERS ARE TO BE REINSTATED AFTER PLACEMENT OF THE FINAL LAYER OF ASPHALTIC CONCRETE AND PRIOR TO THE RELEASE OF THE ROAD SURFACING BOND.
6. CONTRACTOR TO INSTALL ELECTRICAL, NBN AND GAS DUCT CROSSINGS TO RELEVANT AUTHORITY STANDARDS. CONTRACTOR TO SURVEY & CERTIFY COVER TO EACH ROAD DUCT CROSSING AS GIVEN ON THE APPROVED ELECTRICAL PLAN. LEVELS & CERTIFICATION TO BE PROVIDED TO SMEC FOR CONFIRMATION AND SUBMISSION OF W.A.E. LEVELS TO ENDEAVOUR ENERGY FOR CERTIFICATION. ALTERNATIVELY, CONTACT SMEC ONE DAY PRIOR TO TRENCH BEING OPEN AND/OR BACKFILLED FOR CERTIFICATION.

ROADWORKS NOTES:

1. SUBGRADES AND SUB BASES ARE TO BE COMPACTED IN ACCORDANCE WITH COUNCIL'S CONSTRUCTION SPECIFICATION.
2. SUBSOIL DRAINS TO BE PROVIDED ON BOTH SIDES OF ROADS (EXCEPT WHERE THERE IS STORMWATER DRAINAGE).
3. 150 x 50 H.D. GALVANISED STEEL KERB OUTLETS TO BE PLACED IN ALL KERB TYPES ON LOW SIDE OF LOTS. PROVIDE SUITABLE ADAPTOR TO ALL O.W. CONNECTION OF 90mm DIAMETER STORMWATER PIPE.
4. LIPLESS PERAMBULATOR CROSSINGS ARE TO BE PROVIDED IN ALL KERB RETURNS AND WHERE REQUIRED BY COUNCIL.
5. SERVICE CONDUITS TO BE PLACED AS DIRECTED BY ALL PUBLIC UTILITY AUTHORITIES INCLUDING ENDEAVOUR ENERGY, NBN CO. AND SYDNEY WATER
6. PROPOSED UTILITIES AND SERVICES CROSSING EXISTING ROADS SHALL BE PROVIDED FOR USING A TRENCHLESS TECHNIQUE SO AS NOT TO DAMAGE THE EXISTING SURFACE. ALL SERVICE CONDUITS UNDER ROADS MUST BE LAID TO A MINIMUM DEPTH OF 750mm.
7. CONCRETE FOOTPATH CONSTRUCTION IS TO BE BONDED WITH COUNCIL PENDING COMPLETION OF

UTILITY/SERVICES AND SURROUNDING DWELLINGS.

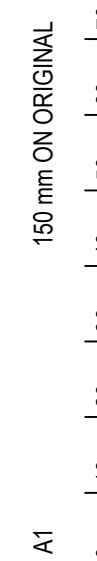
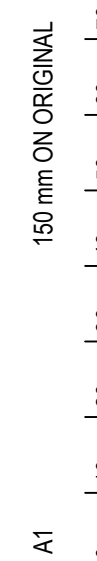
8. ALL TEMPORARY ROADS MUST BE TEMPORARILY SEALED WITH A SINGLE COAT FLUSH SEAL.
9. ALL PERMANENT ROADS MUST BE SEALED WITH A SINGLE COAT FLUSH SEAL AND 50mm OF AC TO BE APPLIED IN TWO 25mm THICK LAYERS. THE FINAL AC LAYER IS TO BE AC 10 AND IS TO BE BONDED AND PLACED FOLLOWING APPROVAL FROM COUNCIL.
10. SIGNPOSTING AND LINE MARKING SHALL CONFORM TO AS1742.2 'TRAFFIC CONTROL DEVICES FOR GENERAL USE'. RAISED RETRO-REFLECTIVE PAVEMENT MARKERS TO CONFORM TO AS1 906 'RETRO-REFLECTIVE MATERIALS AND DEVICES FOR ROAD TRAFFIC CONTROL PURPOSES'. ALL APRONS AND KERB FACE ON CENTRAL ISLANDS OF ROUNDABOUTS AND ALL OTHER ISLANDS TO BE DELINEATED BY REFLECTIVE WHITE MARKING. INSTALLATION SHALL OCCUR IN ACCORDANCE WITH THE PLAN APPROVED BY THE LOCAL TRAFFIC COMMITTEE.
11. ALL LOT AND HOUSE NUMBERS MUST BE STENCILED ON KERB FACE.
12. STREET SIGNS TO COUNCIL STANDARD MUST BE INSTALLED BY THE CONTRACTOR.

STORMWATER NOTES:

1. ALL PIPES TO BE SPIGOT AND SOCKET, RUBBER RING JOINTED.
2. ALL LONGITUDINAL PIPELINES IN ROADS MUST BE LOCATED UNDER KERB AND GUTTER AND BE BACKFILLED WITH APPROVED GRANULAR MATERIAL UNLESS OTHERWISE APPROVED BY THE COUNCIL ENGINEER.
3. DRAINAGE LINES MUST BE BACKFILLED WITH APPROVED GRANULAR MATERIAL IN TRAFFICABLE AREAS. THREE (3) METRES OF SUBSOIL DRAINAGE WRAPPED IN GEOTEXTILE STOCKING MUST BE PROVIDED TO ALL DOWNSTREAM PITS.
4. ALL GULLY PITS TO COUNCIL'S STANDARD AND LINTELS CENTRALLY PLACED AT SAG PITS.
5. ALL PITS MUST BE BENCHED AND STREAMLINED. PROVIDE SL72 REINFORCEMENT AND GALVANISED STEP IRONS IN ALL PITS OVER 1.2 METRES DEEP AS MEASURED FROM THE TOP OF GRATE TO THE INVERT OF THE PIT.
6. CONCRETE IS TO HAVE MINIMUM COMPRESSIVE STRENGTH OF 32MPa AT 28-DAYS UNLESS OTHERWISE APPROVED BY THE COUNCIL ENGINEER.
7. ALL INTERALLOTMENT DRAINAGE MUST HAVE A MINIMUM PIPE DIAMETER OF 150mm AND A MINIMUM GRADE OF 1% UNLESS OTHERWISE APPROVED BY THE COUNCIL ENGINEER.
8. ALL INTERALLOTMENT DRAINAGE LINES MUST BE LAID CENTRALLY WITHIN DRAINAGE EASEMENTS. INSPECTION PITS MUST BE PROVIDED AT ALL CHANGES OF GRADE AND DIRECTION.
9. INTERALLOTMENT DRAINAGE LINES MUST BE INSTALLED AFTER SYDNEY WATER SEWERAGE LINES HAVE BEEN INSTALLED WHERE SEWER IS PROPOSED ADJACENT TO INTERALLOTMENT DRAINAGE LINES.
10. 1% AEP OVERLAND FLOW PATHS MUST BE FORMED AND SHOWN ON 'WORKS AS EXECUTED' DRAWINGS.
11. ALL PLANS (BOTH DESIGN AND W.A.E.) ARE TO CLEARLY DELINEATE THE EXTENT/LOCATION OF FLOOD LINES INCLUDING THE 5% AEP, 1% AEP AND PMF.
12. ADEQUATE PROVISION IS TO BE MADE TO PREVENT SCOURING AND SEDIMENTATION FOR ALL DRAINAGE WORKS IN ACCORDANCE WITH COUNCIL'S REQUIREMENTS.
13. PIT LINTELS ARE TO BE STENCILED WITH APPLICABLE DISTINCTION STENCIL AVAILABLE FROM COUNCIL.
14. CATCH DRAINS MUST BE CONSTRUCTED AS REQUIRED BY THE APPROVED PLANS OR THE PRINCIPAL CERTIFYING AUTHORITY.
15. SOIL AND WATER MANAGEMENT PLANS ARE TO BE PREPARED FOR ALL DISTURBED SITES AND ADHERED TO AT ALL TIMES DURING THE CONSTRUCTION AND MAINTENANCE PERIODS.





GEOTECHNICAL NOTES:

1. THE CONTRACTOR SHALL IMPLEMENT EROSION AND SEDIMENT CONTROL MEASURES AS NECESSARY, AND TO THE SATISFACTION OF COUNCIL PRIOR TO THE COMMENCEMENT OF CONSTRUCTION AND DURING CONSTRUCTION. MAINTENANCE OF THE EROSION AND SEDIMENT CONTROL IS TO BE UNDERTAKEN ON A REGULAR BASIS & AS PER COUNCIL'S DIRECTION.
2. TESTS SHALL BE UNDERTAKEN ON ANY PROPOSED FILL MATERIALS TO ENSURE THAT THEY DO NOT HAVE A HIGH DISPERSION POTENTIAL AS DEFINED BY THE EMERSON CRUMB/DISPERSION TESTS (AS1289 C8-1980).
3. ALL FILL SHALL BE COMPACTED TO NOT LESS THAN 98% OF STANDARD MAXIMUM DRY DENSITY AT -1% TO +3% OF STANDARD OPTIMUM MOISTURE CONTENT (MAXIMUM FILL HORIZONS OF 150mm TO 200mm). ALL AREAS WHICH HAVE TEST RESULTS LESS THAN 98% STANDARD SHOULD BE REWORKED AND RETESTED TO ENSURE COMPLIANCE, IN ACCORDANCE WITH A.S.A. 1289 TESTS 12 AND 13.
4. ALL FILL AREAS TO BE SURVEYED AT STRIPPING AND FINAL STAGES AND LEVELS SHOWN ON PLAN SHADED, (TOGETHER WITH CROSS SECTIONS AT MAXIMUM 20m C/C) AT WORKS-AS-EXECUTED STAGE AND CONTROLLED BY A REGISTERED SURVEYOR. 88B INSTRUMENT REQUIRED FOR ALL LOTS FILLED WITHIN THE BUILDING LINE.
5. ALL EARTHWORKS SHALL BE CONTROLLED AND CERTIFIED BY A N.A.T.A. REGISTERED LABORATORY. TWO COLLATED COPIES OF ALL TEST CERTIFICATES, ACCOMPANIED BY AN OVERALL SITE PLAN, CLEARLY INDICATING THE LOCATION OF EACH TEST AND FILL AREAS ETC., AND THE LABORATORY CERTIFICATE COVERING THE WHOLE OF THE AREA TESTED ARE TO BE FORWARDED TO COUNCIL UPON COMPLETION. TESTING IS TO BE TO LEVEL 1 AS3798 APPENDIX B2(A).
6. ALL RESIDENTIAL LOTS SHALL BE INDIVIDUALLY CLASSIFIED IN ACCORDANCE WITH THE LATEST EDITION OF THE GUIDELINES IN THE AUSTRALIAN STANDARD FOR RESIDENTIAL SLABS AND FOOTINGS AS 2870. PROVIDE TWO COPIES OF REPORT TO COUNCIL.



NOTES:

1. DETAIL SURVEY PROVIDED BY SMEC
2. EXISTING SERVICES ARE CLASS 'D' ONLY AND REMOVAL SHALL BE IN ACCORDANCE WITH RELATIVE AUTHORITY STANDARDS AND GUIDELINES.
3. THIS PLAN IS TO BE PRODUCED IN COLOUR ONLY.
4. DEMOLITION PLAN CONCEPT ONLY. DEMOLITION OF HOUSES TO BE DONE BY OTHERS.

DRAWING FILE LOCATION / NAME C:\12d\data\SMECSYN\300178185 - Airds 5 and 9_1278\CAD\01_Dwg\02_DA\Stage 5\300178185.5.DA011.dwg							PLOT DATE 04/12/2024		TIME 2:34:38 pm							
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			01	27/09/2023	ISSUED FOR APPROVAL	001	G.F.	DRAFTER	M. JAMIL							
			02	04/12/2024	ISSUED FOR APPROVAL	002	G.F.	DRAFTING CHECK	M. JAMIL							
							DESIGNER	A. ESTEPHEN								
							DESIGN CHECK	M. PATEL								
							PROJECT MANAGER	A. ESTEPHEN								
							PROJECT DIRECTOR	G. FLEMING				SCALE	PHASE	PROJECT / DRAWING No.	REVISION	
												AS NOTED	PRELIMINARY	300178185.5.DA011	02	



LEGEND

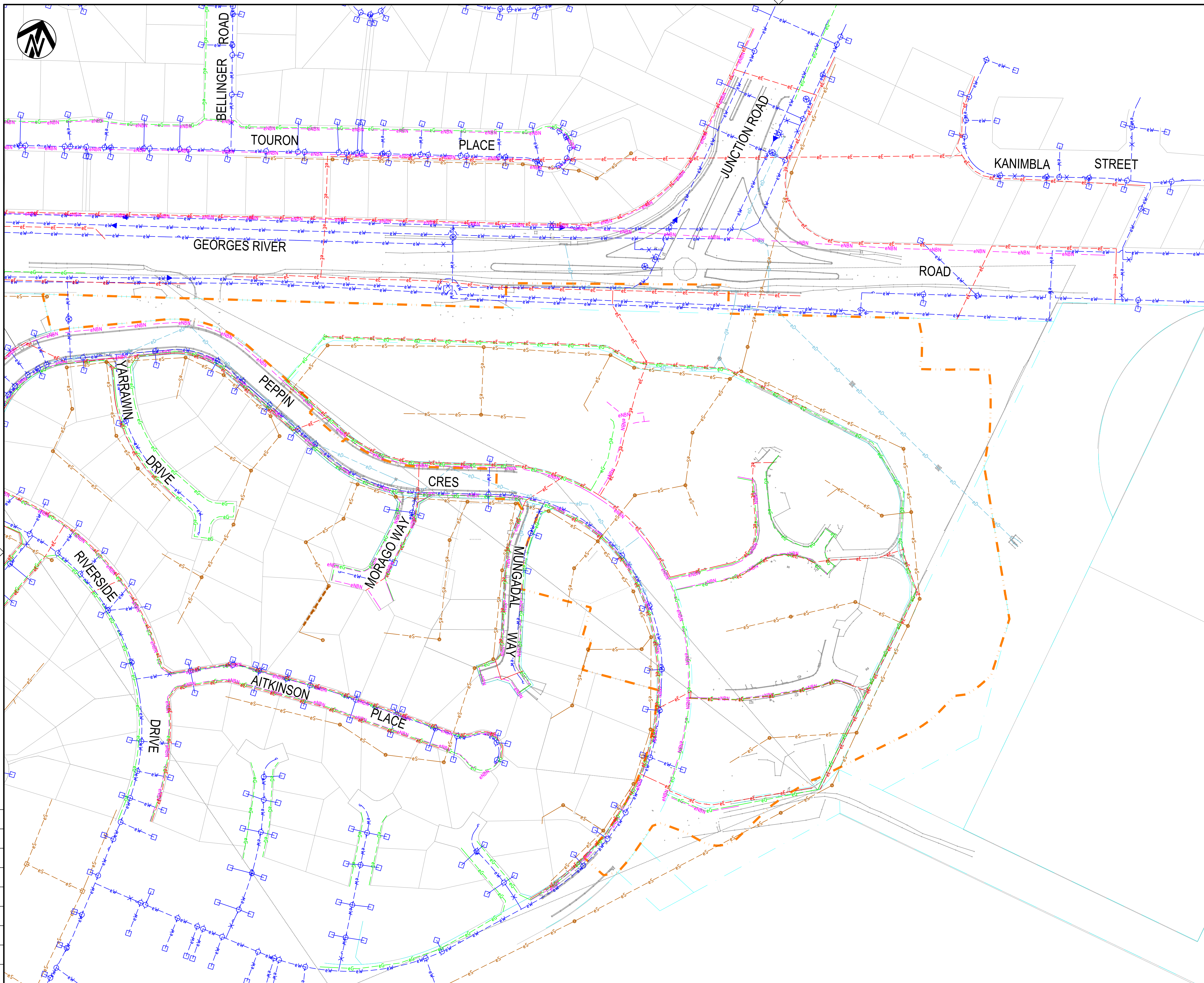
- EXISTING CADASTRAL BOUNDARY
- EXISTING ROAD RESERVE BOUNDARY
- EXISTING LOT BOUNDARY
- EXISTING ELECTRICITY [QUALITY - C]
- EXISTING COMMUNICATION [QUALITY - D]
- EXISTING GAS [QUALITY - D]
- EXISTING WATER [QUALITY - D]
- EXISTING DRAINAGE (STORMWATER) [QUALITY - D]
- EXISTING SEWER [QUALITY - D]
- STAGE 5 BOUNDARY

IMPORTANT NOTE:

PRIOR TO ANY DEMOLITION, EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF FURTHER UNDERGROUND SERVICES & DETAILED LOCATIONS OF ALL SERVICES.

NOTES:

- DETAIL SURVEY PROVIDED BY SMEC
- EXISTING SERVICES ARE CLASS 'D' ONLY AND REMOVAL SHALL BE IN ACCORDANCE WITH RELATIVE AUTHORITY STANDARDS AND GUIDELINES.
- THIS PLAN IS TO BE PRODUCED IN COLOUR ONLY.
- DEMOLITION PLAN CONCEPT ONLY. DEMOLITION OF HOUSES TO BE DONE BY OTHERS.



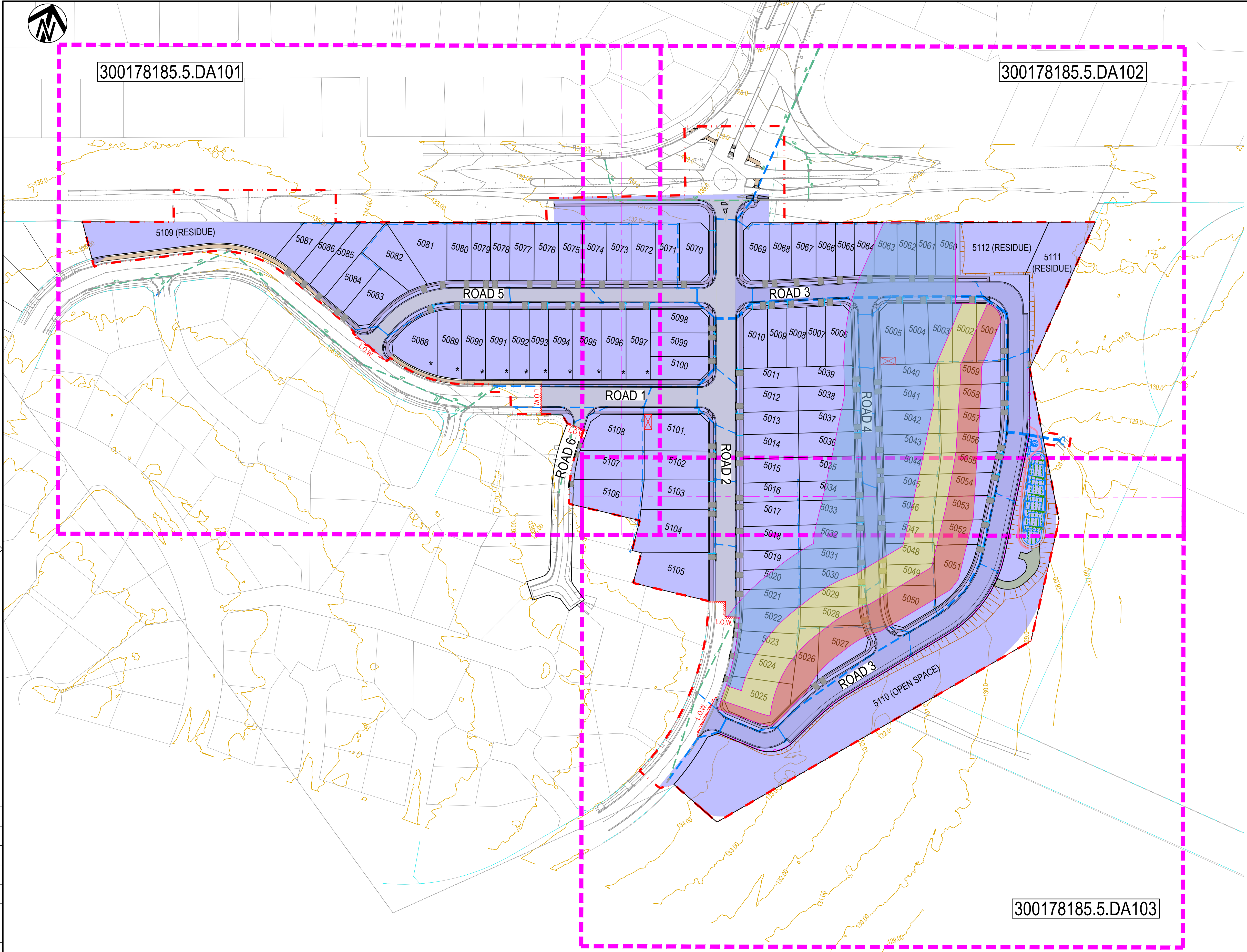
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	02	04/12/2024	ISSUED FOR APPROVAL	002	G.F.	DRAFTING CHECK	M. JAMIL
						DESIGNER	A. ESTEPHEN
						DESIGN CHECK	M. PATEL
						PROJECT MANAGER	A. ESTEPHEN
						PROJECT DIRECTOR	G. FLEMING
				SCALES AT A1 SIZE DRAWING		DESIGNER	
				SCALE 1:1000		SMEC	
						Member of the Subana Jurong Group © ABN 47 065 475 149 LEVEL 6, 3 HORWOOD PLACE PARRAMATTA NSW, 2150 PH +61 2 9900 7100 SMEC PROJECT No. 300178185.5	
						CLIENT	
						NSW GOVERNMENT Land & Housing Corporation	
				PROJECT TITLE		CAMPBELLTOWN CITY COUNCIL AIRDS STAGE 5 - REDEVELOPMENT EXISTING SERVICES PLAN	
SCALE		PHASE		PROJECT / DRAWING No.		REVISION	
AS NOTED		PRELIMINARY		300178185.5.DA012		02	






LEGEND

- EXISTING CADASTRAL BOUNDARY
- LIMIT OF WORKS BOUNDARY
- SHEET FRAME
- STAGE 05 WORKS AREA
- BAL 12.5
- BAL 19
- BAL 29

1. THIS PLAN IS TO BE PRODUCED IN COLOUR ONLY.
2. CONTRACTOR TO MAINTAIN ADAESS FOR EXISTING RESIDENTIAL LOTS DURING CONSTRUCTION WORKS.



150 mm ON ORIGINAL
A1
0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

DRAWING FILE LOCATION / NAME C:\12d\sd\data\SMEC\SYN\300178185 - Airds 5 and 9_1278\ICAD\01_Dwg\02_DAI\Stage 5\300178185.5.DA031.dwg					PLOT DATE 04/12/2024		TIME 2:34:45 pm									
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	01 02	27/09/2023 04/12/2024	ISSUED FOR APPROVAL ISSUED FOR APPROVAL	001 002	G.F. G.F.	DRAFTER DRAFTING CHECK DESIGNER DESIGN CHECK PROJECT MANAGER PROJECT DIRECTOR	M. JAMIL M. JAMIL A. ESTEPHEN M. PATEL A. ESTEPHEN G. FLEMING									



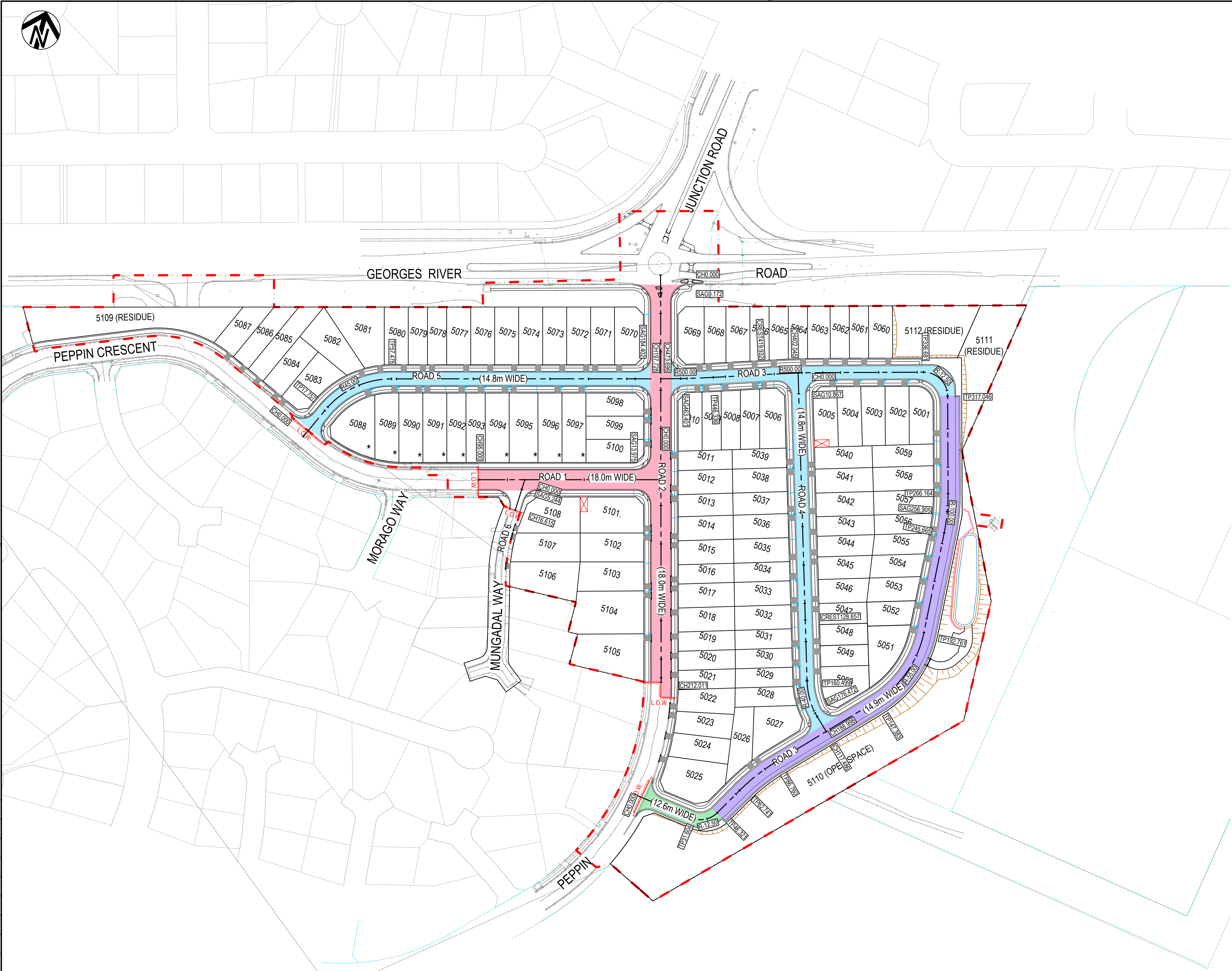
LEGEND

- EXISTING CADASTRAL BOUNDARY
- PROPOSED LOT BOUNDARY
- ROAD CENTRE LINE
- K&G / R K
- EXISTING KERB AND GUTTER / ROLL KERB
- EXISTING ROAD RESERVE BOUNDARY
- EXISTING LOT BOUNDARY
- PRAM RAMP
- LIMIT OF WORKS BOUNDARY
- BATTER (1:4 MAX)
- 1.2m FOOTPATH
- LIMIT OF WORKS



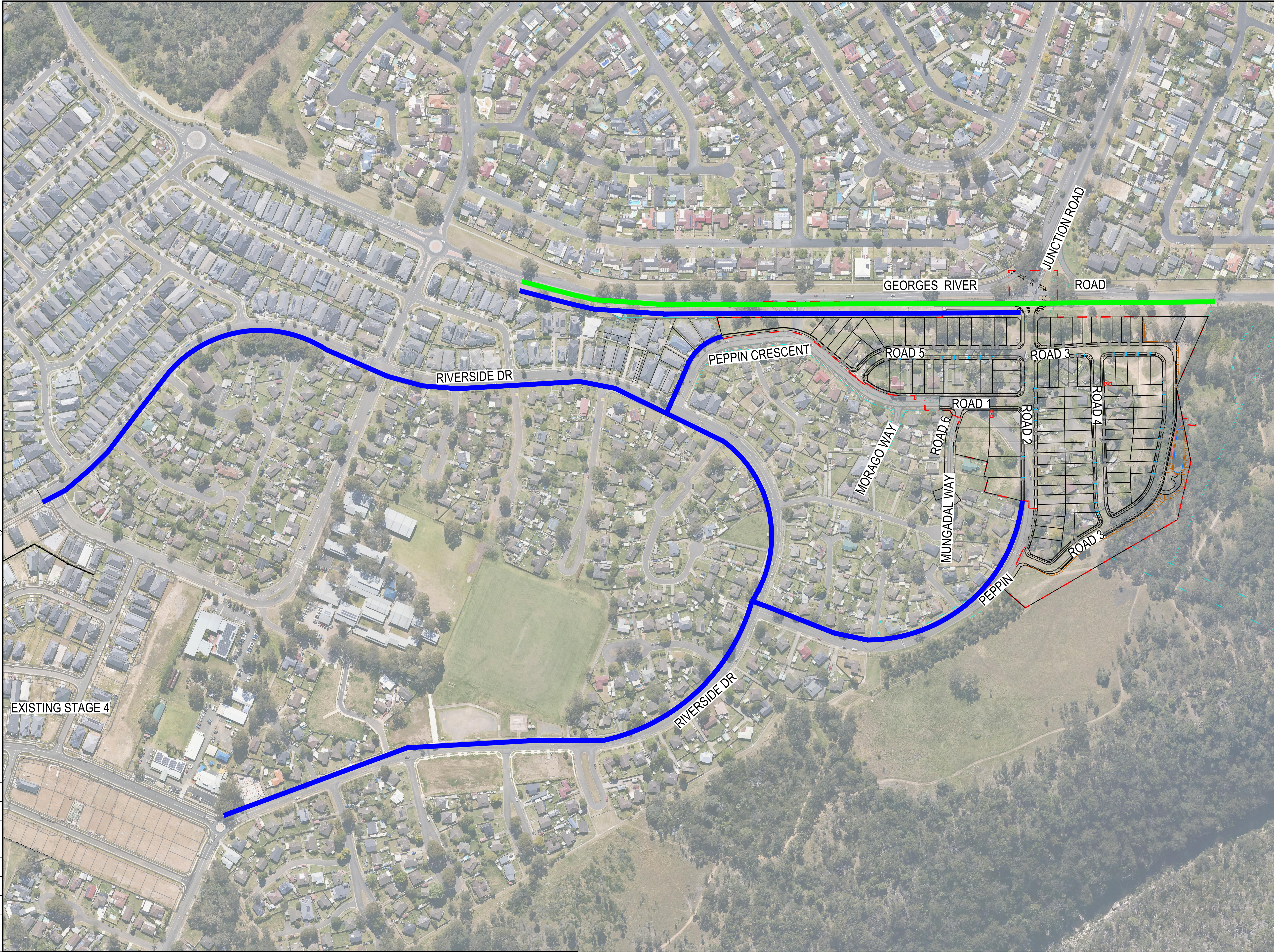
ROAD LEGEND

- MINOR COLLECTOR ROAD (18m WIDE)
- LOCAL ROAD (14.8m WIDE)
- PARKSIDE ROAD (12.6m WIDE)
- PARKSIDE WITH PARKING BAY (14.9m WIDE)






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	02	04/12/2024	ISSUED FOR APPROVAL	002	G.F.	DRAFTING CHECK	M. JAMIL
						DESIGNER	A. ESTEPHEN
						DESIGN CHECK	M. PATEL
						PROJECT MANAGER	A. ESTEPHEN
						PROJECT DIRECTOR	G. FLEMING
				SCALES AT A1 SIZE DRAWING			
				SCALE 1:1000			
				DESIGNER			
				CLIENT			
				PROJECT TITLE			
				SCALE			
				PHASE			
				PROJECT / DRAWING No.			
				REVISION			

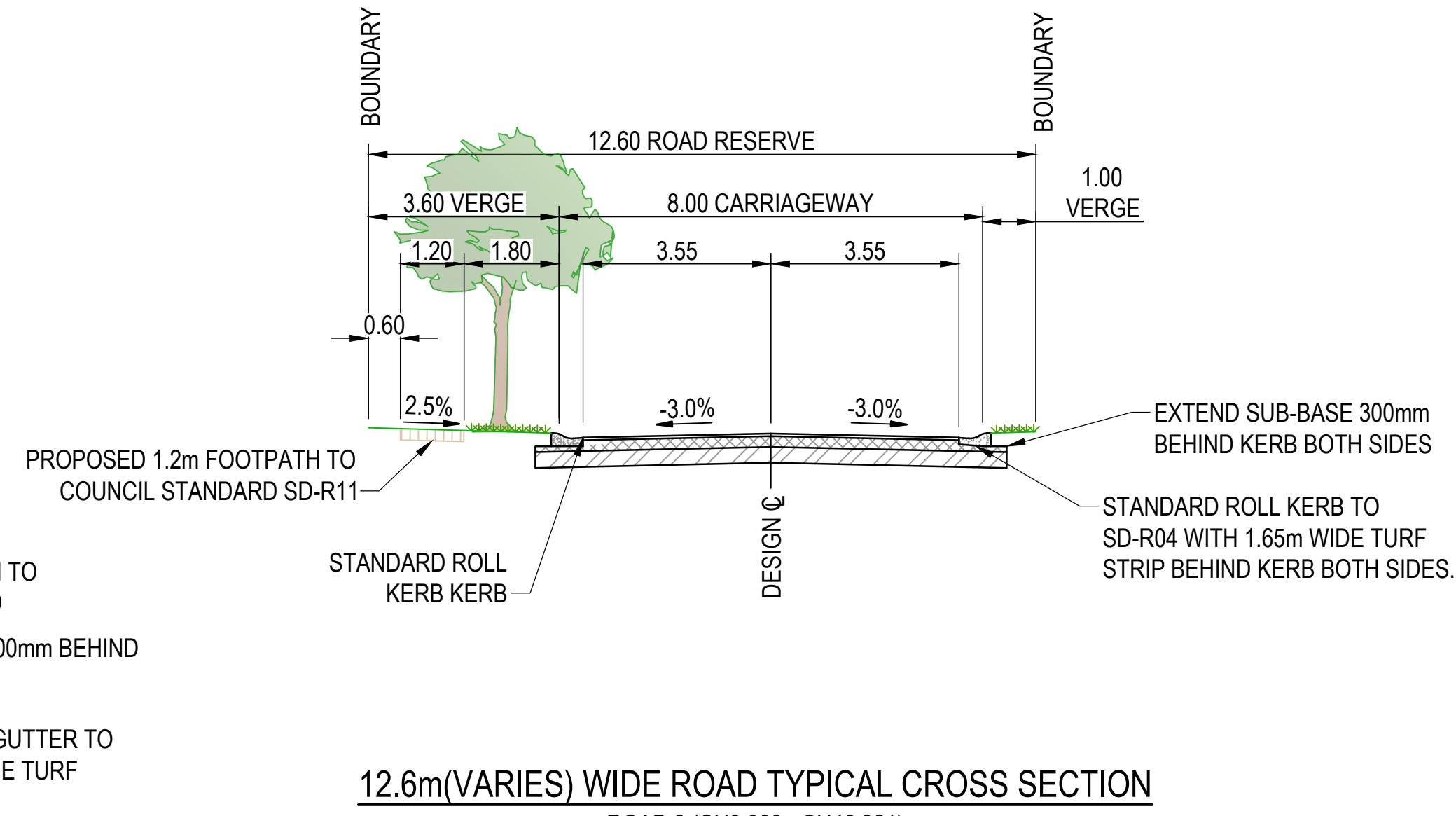
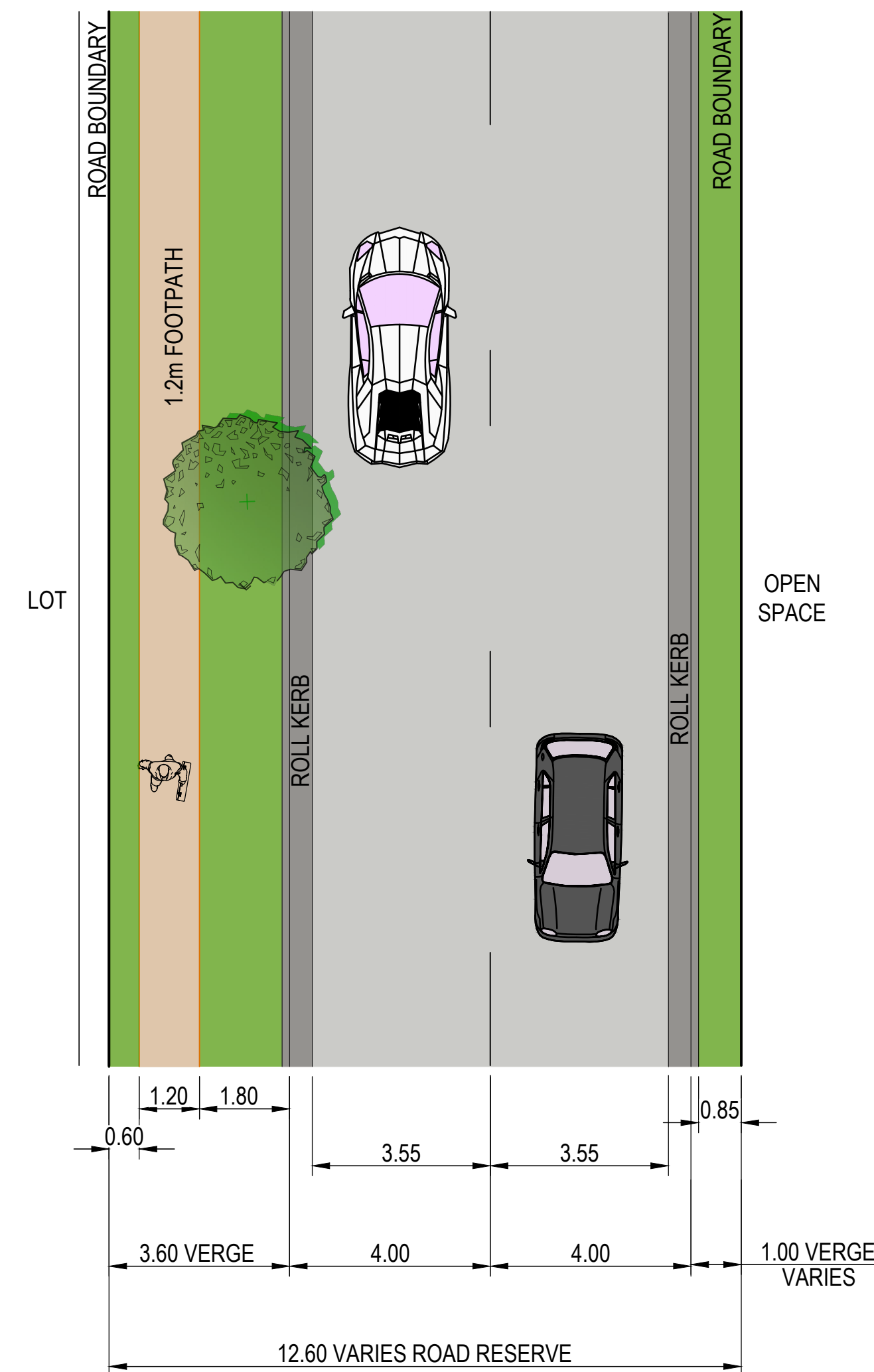
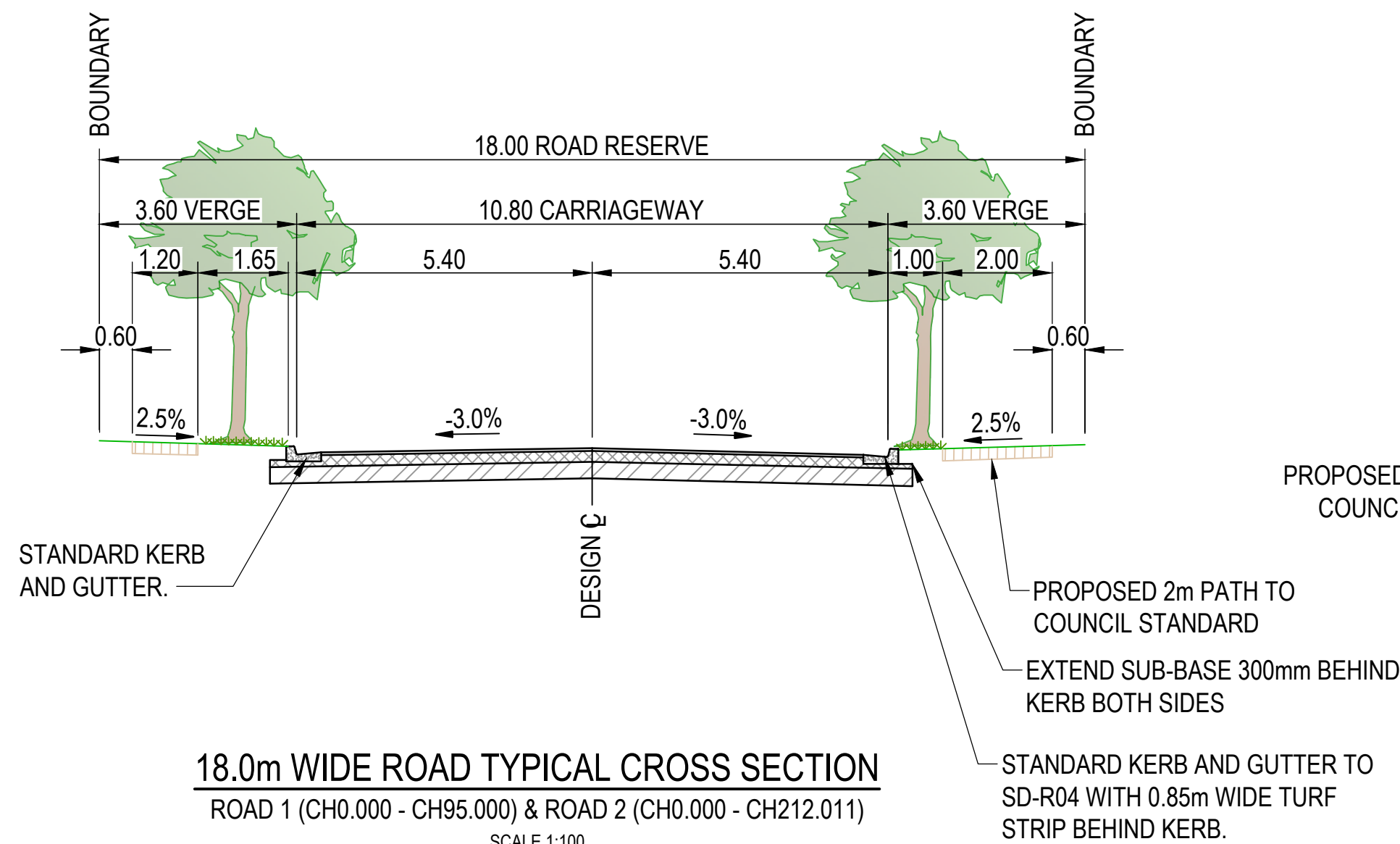
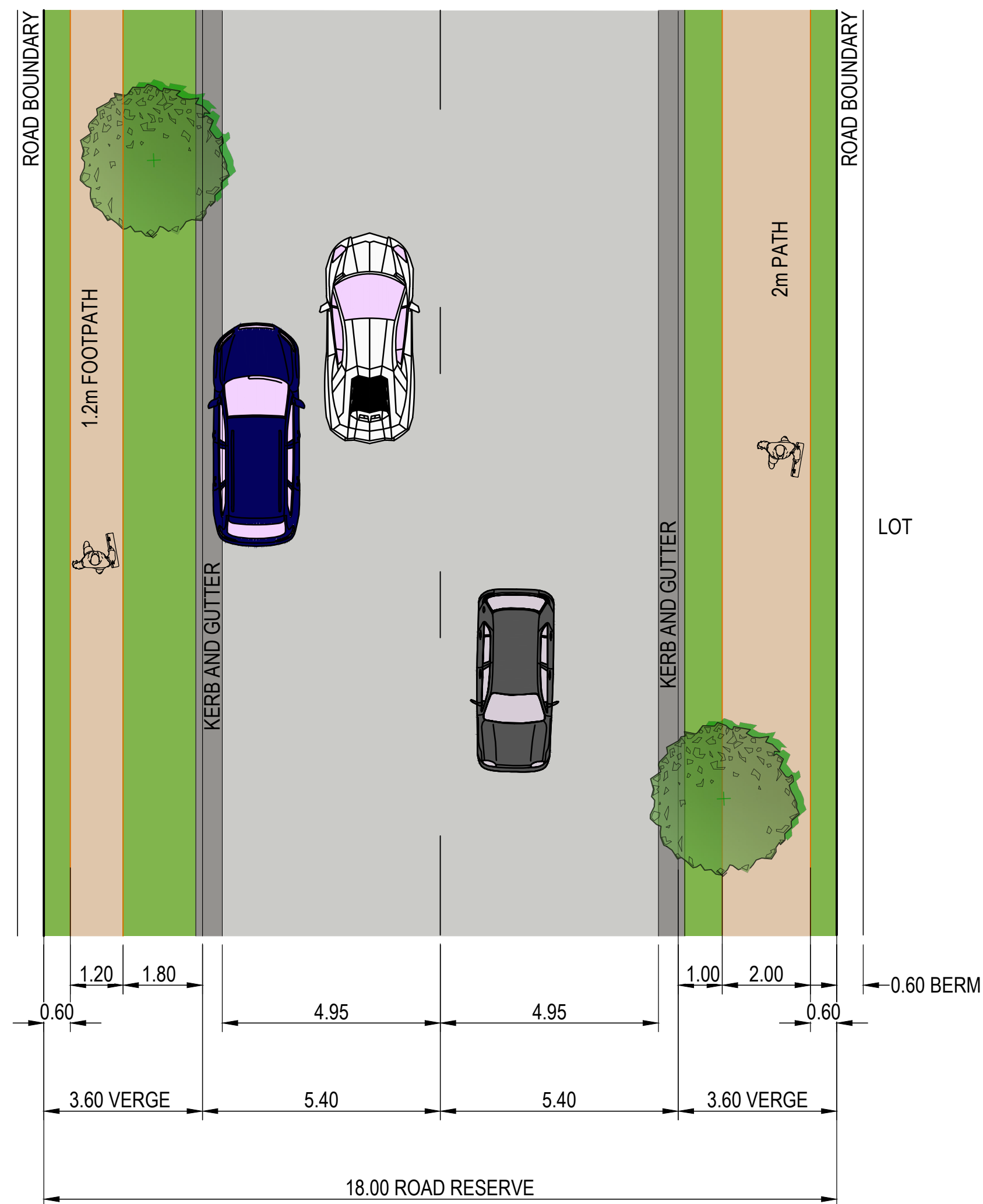
150 mm ON ORIGINAL
A1
0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150



LEGEND

- PROPOSED KERB & GUTTER (APPROX 740m)
- PROPOSED 2m PATH (APPROX 2675m)

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			01	04/12/2024	ISSUED FOR APPROVAL		002	G.F.	DRAFTER	M. JAMIL		 Member of the Surbana Jurong Group © ABN 47 065 475 149 LEVEL 6, 3 HORWOOD PLACE PARRAMATTA NSW, 2150 PH +61 2 9900 7100 SMC PROJECT No. 300178185.5	 Land & Housing Corporation	CAMPBELLTOWN CITY COUNCIL AIRDS STAGE 5 - REDEVELOPMENT EXTERNAL EXTENTS PLAN				
									DRAFTING CHECK	M. JAMIL								
									DESIGNER	A. ESTEPHEN								
									DESIGN CHECK	M. PATEL								
									PROJECT MANAGER	A. ESTEPHEN								
									PROJECT DIRECTOR	G. FLEMING								
										SCALE 1:2000				SCALE	PHASE	PROJECT / DRAWING No.	REVISION	
														AS NOTED	PRELIMINARY	300178185.5.DA033	01	




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	02	04/12/2024	ISSUED FOR APPROVAL	002

APPROVAL	TITLE	NAME
G.F.	DRAFTER	M. JAMIL
G.F.	DRAFTING CHECK	M. JAMIL
	DESIGNER	A. ESTEPHEN
	DESIGN CHECK	M. PATEL
	PROJECT MANAGER	A. ESTEPHEN
	PROJECT DIRECTOR	G. FLEMING

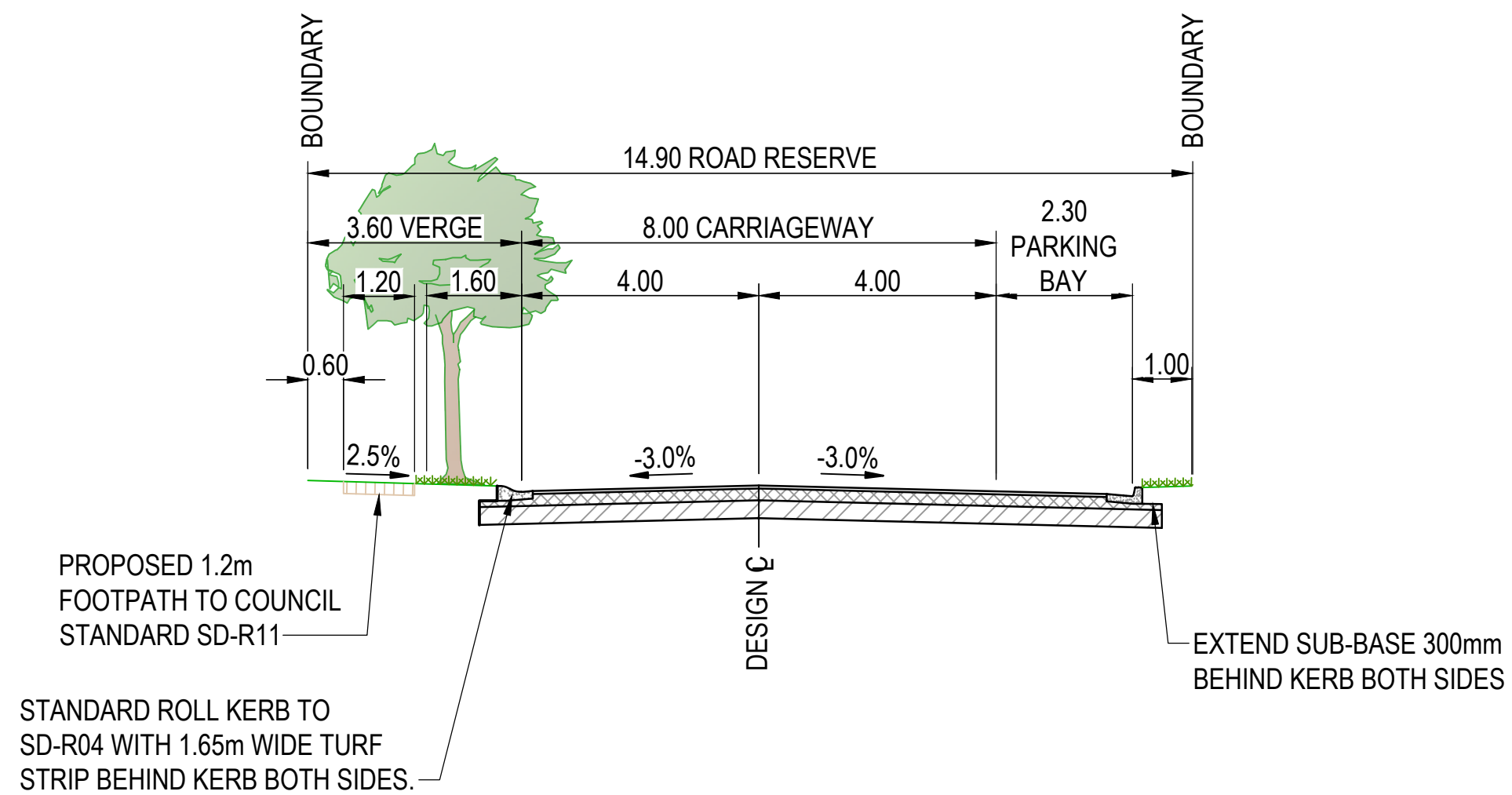
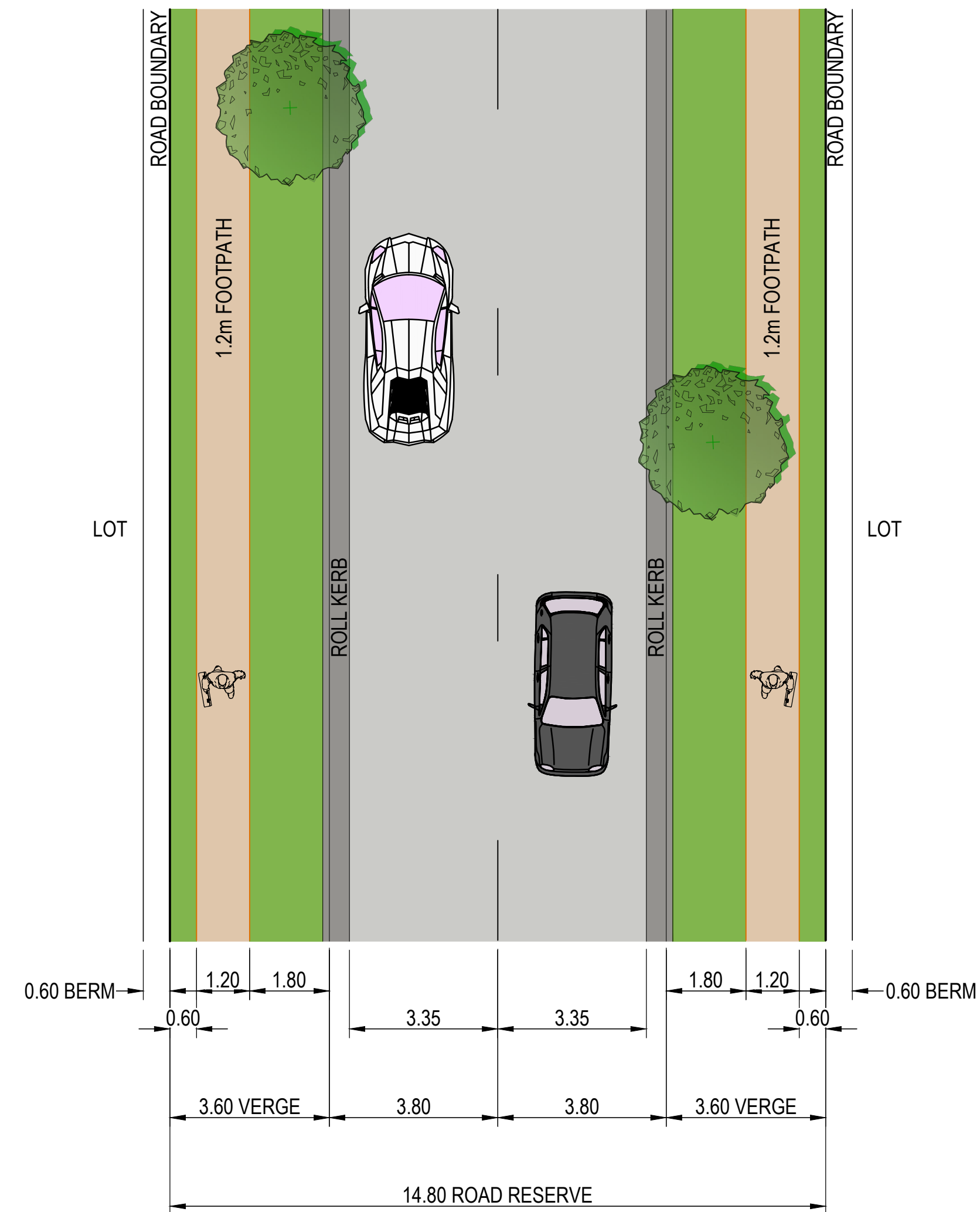
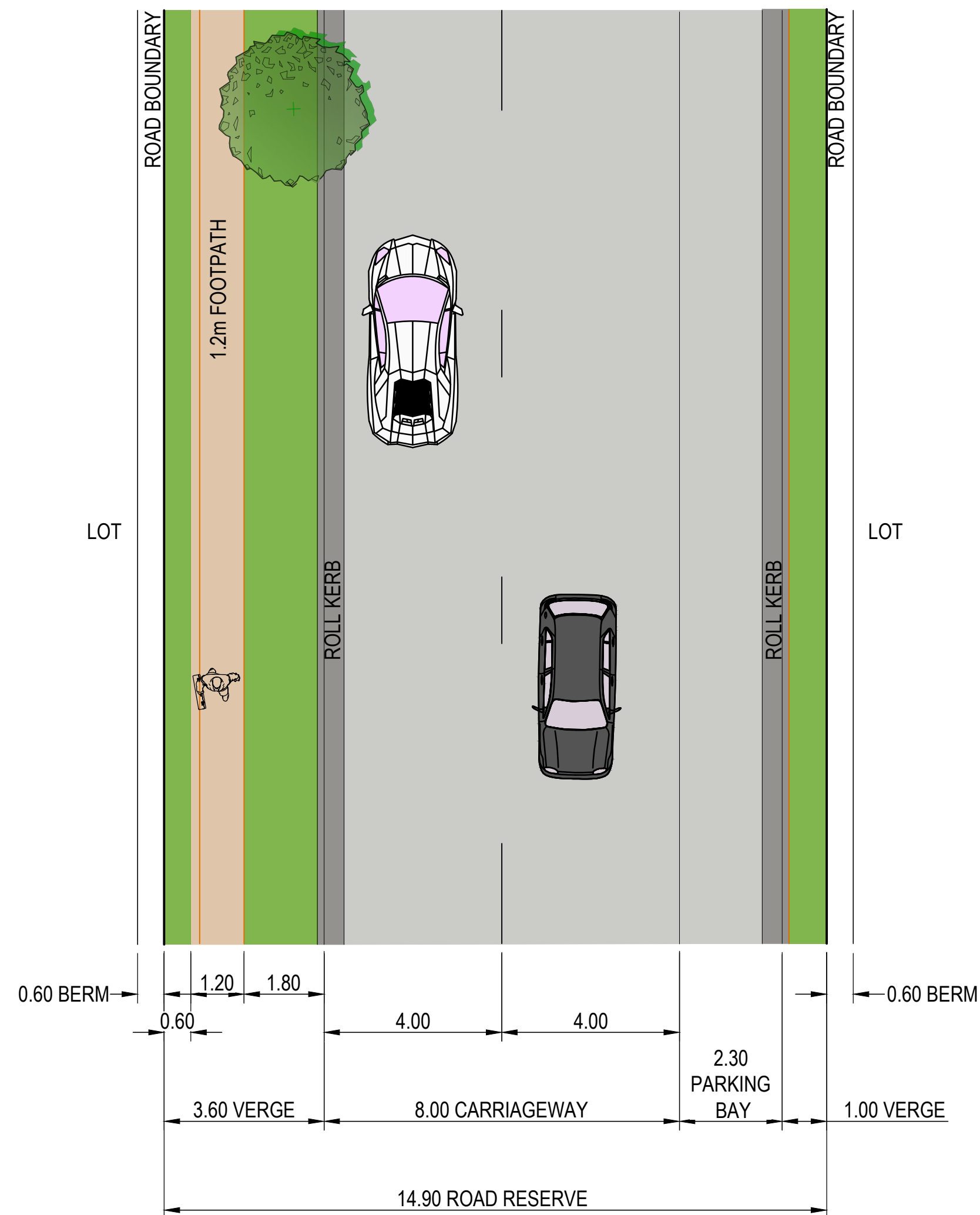
SCALES AT A1 SIZE DRAWING
SCALE 1:100

DESIGNER

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LEVEL 6, 3 HORWOOD PLACE
PARRAMATTA NSW. 2150
PH +61 2 9900 7100
SMC PROJECT No. 300178185.5

CLIENT

Land & Housing Corporation

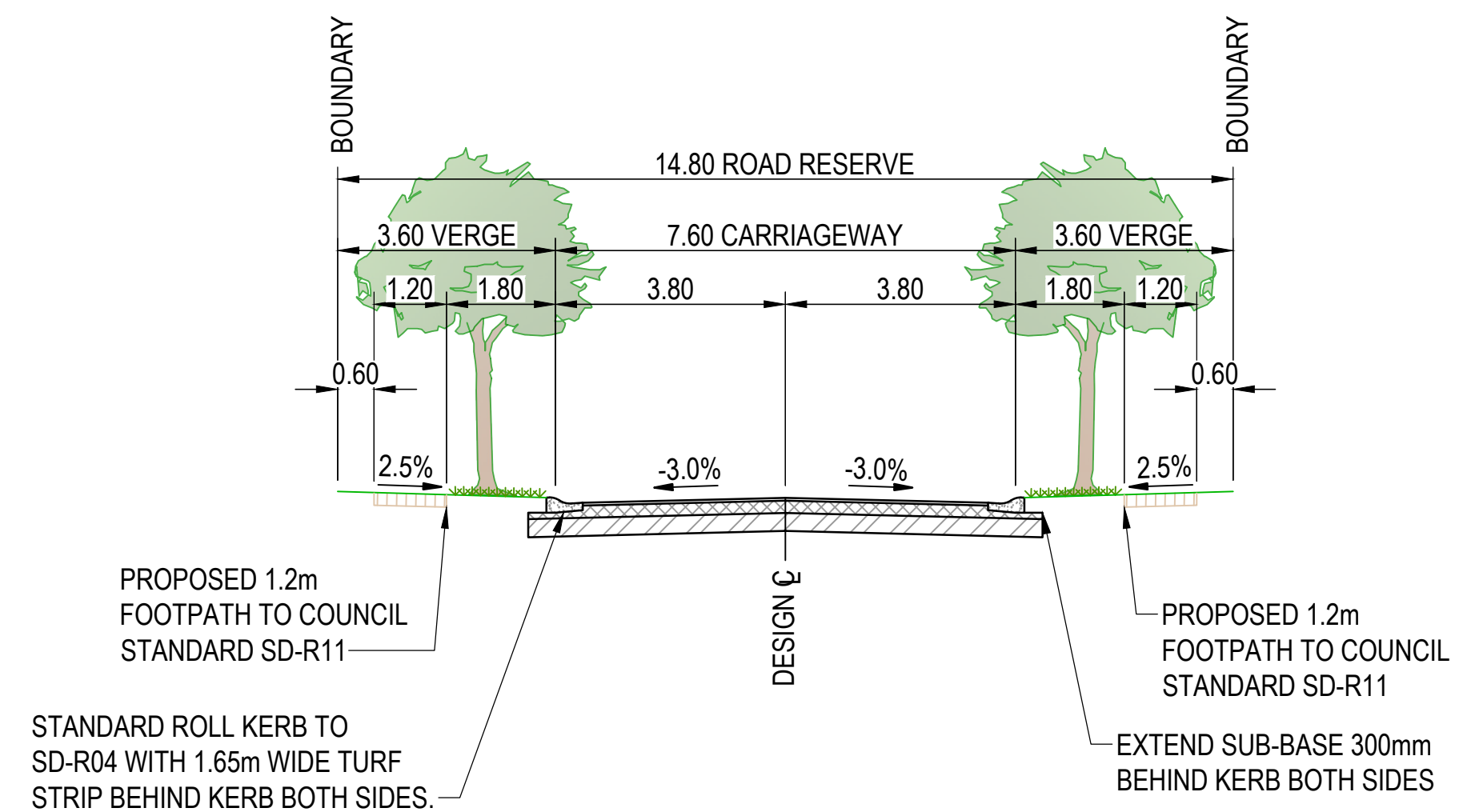
PROJECT TITLE	CAMPBELLTOWN CITY COUNCIL AIRDS STAGE 5 - REDEVELOPMENT TYPICAL ROAD CROSS SECTIONS SHEET 1
SCALE	AS NOTED
PHASE	PRELIMINARY
PROJECT / DRAWING No.	300178185.5.DA041
REVISION	02



14.9m WIDE ROAD TYPICAL CROSS SECTION

ROAD 3 (CH46.321 - CH317.046)

SCALE 1:100



14.8m WIDE ROAD TYPICAL CROSS SECTION

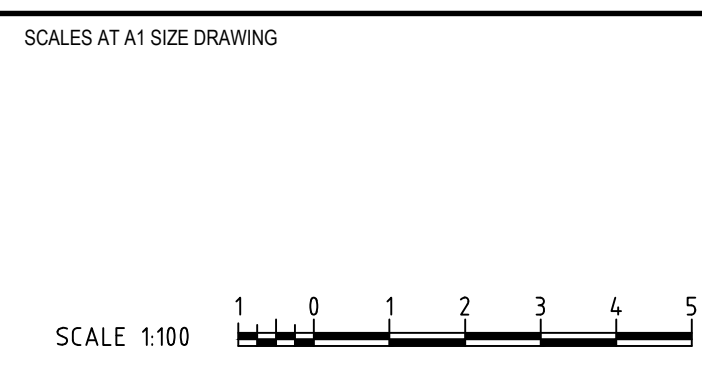
ROAD 3 (CH317.046 - CH473.696), ROAD 4 (CH0.000-188.998), ROAD 5 (CH0.000-197.728)

SCALE 1:100

DRAWING FILE LOCATION / NAME
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EXTERNAL REFERENCE FILES	REV	DATE	AMENDMENT / REVISION DESCRIPTION	WVR No.
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	02	04/12/2024	ISSUED FOR APPROVAL	002

APPROVAL	TITLE	NAME
G.F.	DRAFTER	M. JAMIL
G.F.	DRAFTING CHECK	M. JAMIL
	DESIGNER	A. ESTEPHEN
	DESIGN CHECK	M. PATEL
	PROJECT MANAGER	A. ESTEPHEN
	PROJECT DIRECTOR	G. FLEMING



DESIGNER

SMC

Member of the Surbana Jurong Group

© ABN 47 065 475 149

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PARRAMATTA NSW. 2150

PH +61 2 9900 7100

SMC PROJECT No. 300178185.5

CLIENT

NSW GOVERNMENT

Land & Housing Corporation

PROJECT TITLE CAMPBELLTOWN CITY COUNCIL AIRDS STAGE 5 - REDEVELOPMENT TYPICAL ROAD CROSS SECTIONS SHEET 2			
SCALE AS NOTED	PHASE PRELIMINARY	PROJECT / DRAWING No. 300178185.5.DA042	REVISION 02



LEGEND

- EXISTING CADASTRAL BOUNDARY
- LOT BOUNDARY
- CUT/FILL LINE
- LIMIT OF WORKS BOUNDARY



NOTES:

- THE PURPOSE OF THIS PLAN IS TO SHOW BULK EARTHWORK QUANTITIES PROPOSED AS PART OF THE DEVELOPMENT APPLICATION.
- THE DEPTHS SHOWN IN THE PLAN AND LEGEND IS THE DIFFERENCE BETWEEN THE FINISHED SURFACE AND EXISTING SURFACE.
- DEDUCTION OF EXCESS TRENCH SPOIL AND BOXING HAS NOT BEEN CONSIDERED IN THE VOLUMES PROVIDED.

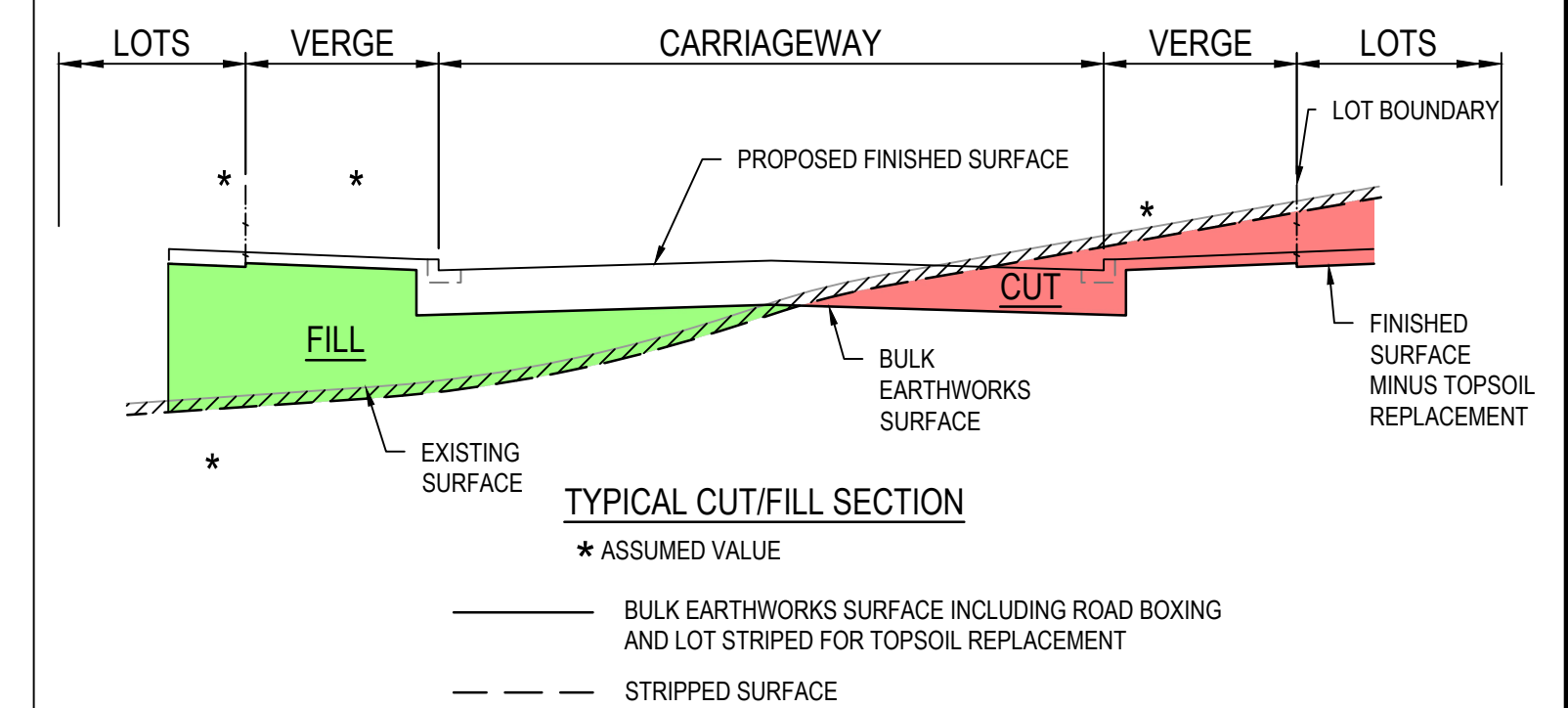
BULK EARTHWORKS - AREAS & VOLUMES:

SURFACE AREA	= 71 749m ²
FILL	= 16 074m ³
CUT	= 4 971m ³
FILL TO IMPORT	= 11 103m ³

Surface Analysis: Cut & Fill Depths			
Number	Color	Minimum Depths (m)	Maximum Depths (m)
1		-4.0	-3.5
2		-3.5	-3.0
3		-3.0	-2.5
4		-2.5	-2.0
5		-2.0	-1.5
6		-1.5	-1.0
7		-1.0	-0.5
8		-0.5	0.0
9		0.0	0.5
10		0.5	1.0
11		1.0	1.5
12		1.5	2.0
13		2.0	2.5

CUT

FILL



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EXTERNAL REFERENCE FILES	REV	DATE	AMENDMENT / REVISION DESCRIPTION
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	02	04/12/2024	ISSUED FOR APPROVAL

PLOT DATE
04/12/2024

TIME
2:34:50 pm

APPROVAL	TITLE	NAME
G.F.	DRAFTER	M. JAMIL
G.F.	DRAFTING CHECK	M. JAMIL
	DESIGNER	A. ESTEPHEN
	DESIGN CHECK	M. PATEL
	PROJECT MANAGER	A. ESTEPHEN
	PROJECT DIRECTOR	G. FLEMING

SCALES AT A1 SIZE DRAWING

SCALE 1:1000

DESIGNER



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SMEC PROJECT No. 300178185.5

CLIENT



PROJECT TITLE
CAMPBELLTOWN CITY COUNCIL
AIRDS STAGE 5 - REDEVELOPMENT
CUT AND FILL
PLAN

SCALE	PHASE	PROJECT / DRAWING No.	REVISION
AS NOTED	PRELIMINARY	300178185.5.DA051	02

CONTAMINATION CELL REQUIREMENTS

MARKER LAYER REQUIREMENTS:

- BRIGHT ORANGE COLOURED NON-WOVEN POLYESTER CONTINUOUS FILAMENT OR PET (SUCH AS NONWOVEN GEOTEXTILES OR BIDDIM) OR SIMILAR WITH A MINIMUM DENSITY OF APPROXIMATELY 150 GRAMS PER SQUARE METRE (OR EQUIVALENT), PROFAB GEOTEXTILE INDICATOR MARKER LAYER OR EQUIVALENT.
- BE EASILY RECOGNISABLE WITHIN SOILS (I.E. BRIGHT ORANGE IN COLOUR)
- BE DURABLE AS A LONG TERM MARKER LAYER
- MAINTAIN INTEGRITY DURING REMEDIAL/CIVIL WORKS SUCH AS CAPPING LAYER INSTALLATION AND ROAD/BUILDING CONSTRUCTION (AS REQUIRED)

CAPPING MATERIAL REQUIREMENTS:

- COMPRISE SOIL/GRAVEL AND ENVIRONMENTAL SUITABLE MATERIAL FOR HUMAN AND/OR ECOLOGICAL EXPOSURE (AS APPROPRIATE)
- VENN
- ENM
- MATERIAL CERTIFIED IN ACCORDANCE WITH AN EXEMPTION ISSUED BY THE NSW EPA THAT MEETS SITE SUITABILITY CRITERIA
- IMPORTED ROAD MAKING MATERIALS COMPRISING FRESH QUARRIED MATERIAL OR MATERIAL COVERED BY A BENEFICIAL REUSE EXEMPTION ISSUED BY THE NSW EPA
- MUST BE GEOTECHNICALLY SUITABLE

PAVEMENT THICKNESS:

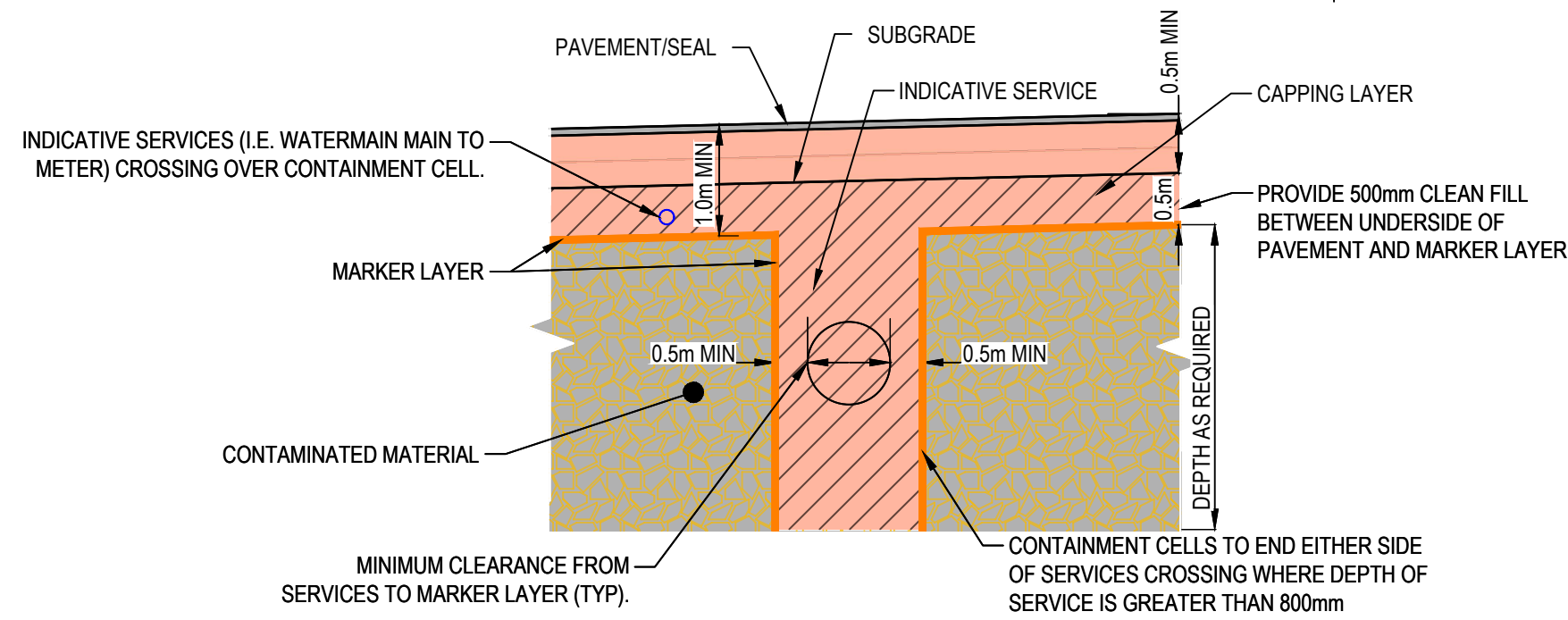
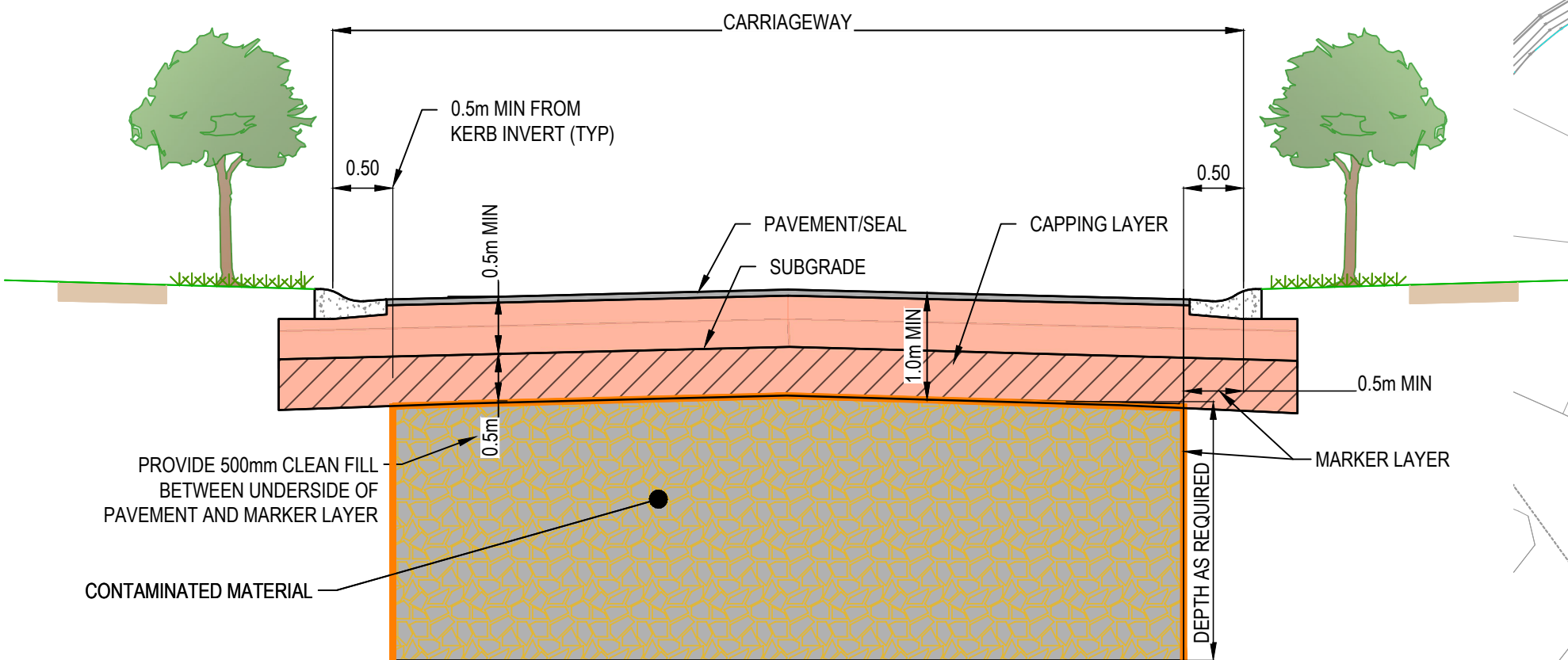
- NO MINIMUM REQUIREMENTS FOR PAVEMENT FROM A CONTAMINATION POINT OF VIEW
- PAVEMENT AND SUBBASE FORM PART OF THE CAPPING LAYER WHICH INCLUDES A MINIMUM SEPARATION THICKNESS OF 0.5 M OVER A MARKER LAYER PLACED OVER THE CONTAMINATED SOIL
- THINNER OR NO SOIL COVER IS ALSO ACCEPTABLE WHERE COVER IS PROVIDED BY A PERMANENT CONCRETE OR ASPHALT SURFACED PAVEMENT

WALL DESIGN AND MATERIAL REQUIREMENTS:

- AS PER CAPPING MATERIAL REQUIREMENTS
- AT THE INTERFACE OF THE REMEDIATION AND NON-REMEDIATED AREAS, THE EXTENT OF THE MARKER LAYER AND CAPPING LAYER SHOULD BE EXTENDED A MINIMUM OF 0.5 M LATERALLY OUTSIDE THE EXTENT OF THE REMEDIATED AREA, WHERE PRACTICABLE

CROSSING SERVICES:

- SERVICES SHOULD NOT BE INSTALLED WITHIN CONTAMINATED MATERIALS, AS SUCH MATERIAL PLACEMENT WILL NEED TO CONSIDER SERVICE ALIGNMENTS
- SHOULD BE OUTSIDE CONTAMINATION AREAS OR SEPARATE FROM CONTAINED MATERIALS BY MARKER MATERIAL AND BACKFILLED WITH VALIDATED MATERIAL SUITABLE FOR ROAD USE

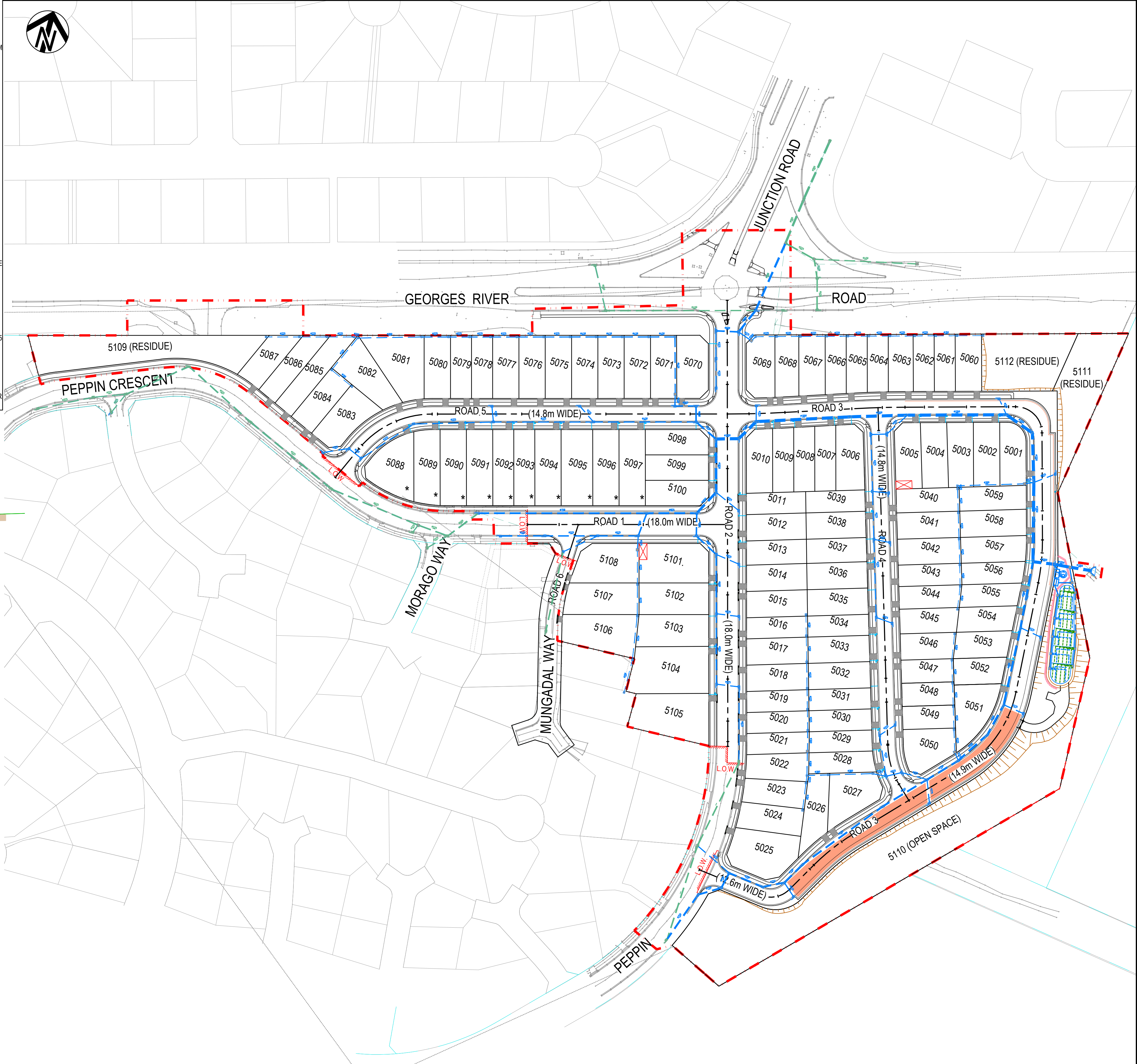


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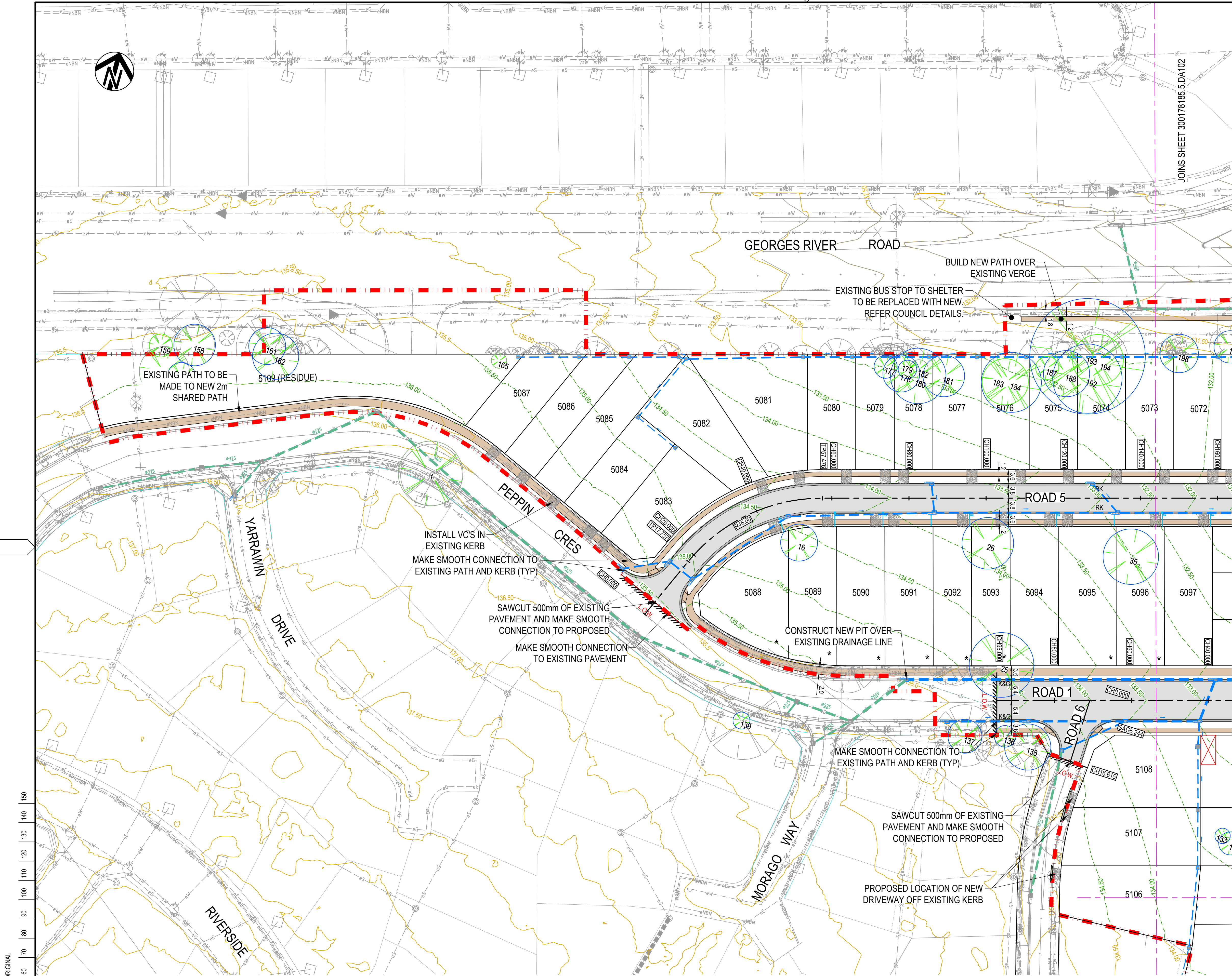
1. CONTRACTOR TO ALLOW FOR STORMWATER AND SEWER PROVISIONS UNDER FUTURE ROAD.
2. UTILITIES WITHIN STAGE 4 SHOWN FOR INFORMATION ONLY.
3. PROPOSED CONTAMINATION CELLS ALLOW APPROX. 2500m³ VOLUME.

LEGEND:

- CONTAMINATED MATERIAL BURIAL CELLS
- STAGE 5 STORMWATER



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	02	04/12/2024	ISSUED FOR APPROVAL	002	G.F.	DRAFTING CHECK	M. JAMIL
						DESIGNER	A. ESTEPHEN
						DESIGN CHECK	M. PATEL
						PROJECT MANAGER	A. ESTEPHEN
						PROJECT DIRECTOR	G. FLEMING
				SCALES AT A1 SIZE DRAWING			
				DESIGNER			
				CLIENT			
				PROJECT TITLE			
				SCALE			
				PHASE			
				PROJECT / DRAWING No.			
				REVISION			



LEGEND

- EXISTING CADASTRAL BOUNDARY
- EXISTING ELECTRICITY
- EXISTING COMMS LINE
- EXISTING GAS LINE
- EXISTING WATER LINE
- EXISTING SEWER LINE
- EXISTING CONTOUR
- DESIGN CONTOUR
- LOT BOUNDARY
- K&G / R K
- INDICATIVE DRIVEWAY LOCATION
- PROPOSED VEHICULAR CROSSING
- 1.2m FOOTPATH
- PRAM RAMP
- BATTER (1:4 MAX)
- ROAD CENTRE LINE
- LIMIT OF WORKS BOUNDARY
- KORB OUTLET
- DRAINAGE PIPE WITH PIT
- DRAINAGE PIPE WITH PIT (EXISTING)
- SUBSTATION
- LIMIT OF WORKS
- EXISTING TREES TO REMAIN
- SANDSTONE RETAINING WALL
- * NO ACCESS OFF PEPPIN CRES/ ROAD 1



150 mm ON ORIGINAL
A1
0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

DRAWING FILE LOCATION / NAME
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EXTERNAL REFERENCE FILES	REV	DATE	AMENDMENT / REVISION DESCRIPTION	WVR No.	APPROVAL	TITLE	NAME
	01	27/09/2023	ISSUED FOR APPROVAL	001	G.F.	DRAFTER	M. JAMIL
	02	04/12/2024	ISSUED FOR APPROVAL	002	G.F.	DRAFTING CHECK	M. JAMIL
						DESIGNER	A. ESTEPHEN
						DESIGN CHECK	M. PATEL
						PROJECT MANAGER	A. ESTEPHEN
						PROJECT DIRECTOR	G. FLEMING

PLOT DATE
04/12/2024

TIME
2:34:57 pm

APPROVAL	TITLE	NAME
G.F.	DRAFTER	M. JAMIL
G.F.	DRAFTING CHECK	M. JAMIL
	DESIGNER	A. ESTEPHEN
	DESIGN CHECK	M. PATEL
	PROJECT MANAGER	A. ESTEPHEN
	PROJECT DIRECTOR	G. FLEMING

SCALES AT A1 SIZE DRAWING

SCALE 1:500

DESIGNER

SMC

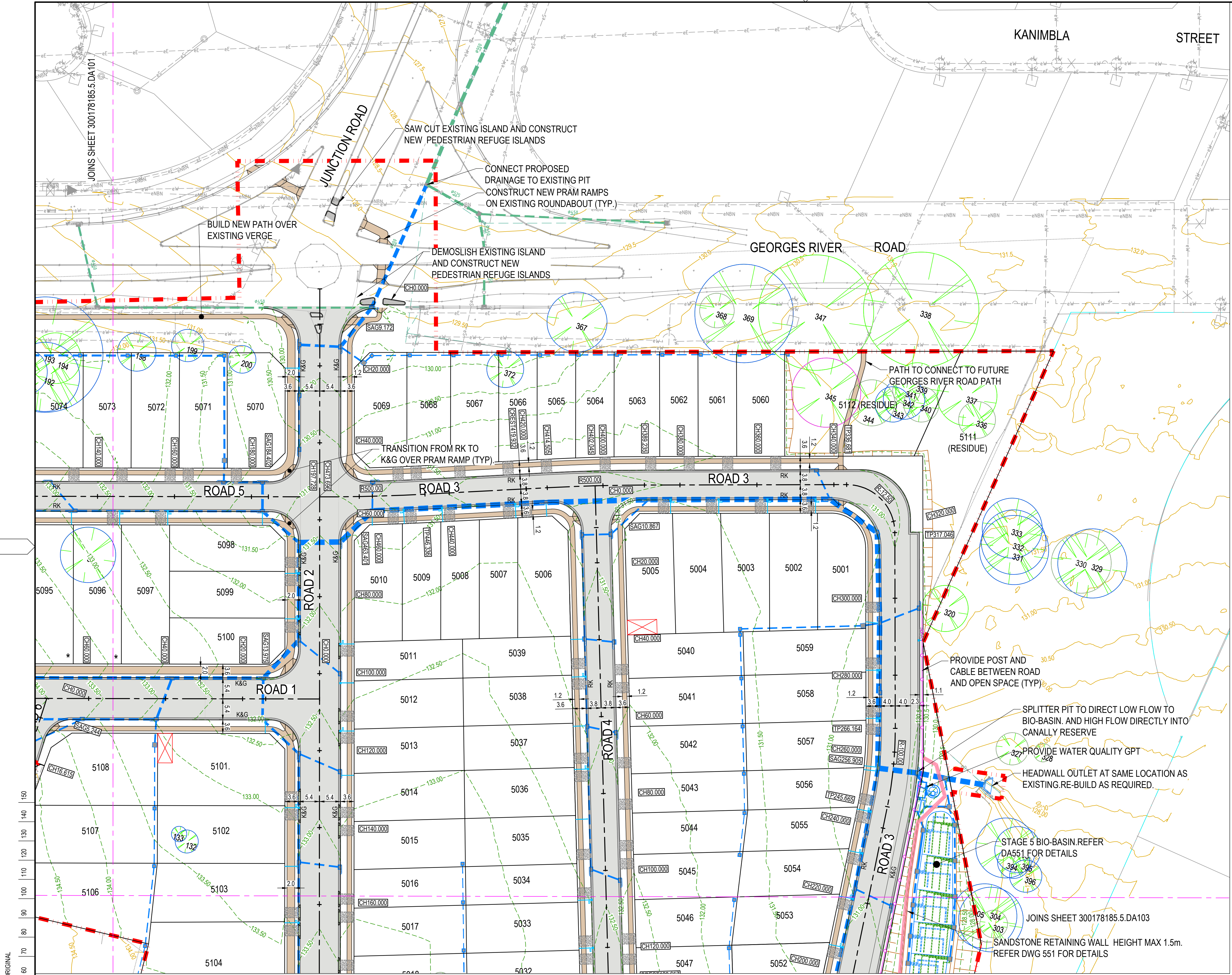
Member of the Surbana Jurong Group
© ABN 47 065 475 149
LEVEL 6, 3 HORWOOD PLACE
PARRAMATTA NSW. 2150
PH +61 2 9900 7100

SMC PROJECT No. 300178185.5

CLIENT

NSW **Land & Housing Corporation**

PROJECT TITLE CAMPBELLTOWN CITY COUNCIL AIRDS STAGE 5 - REDEVELOPMENT CIVIL WORKS PLAN SHEET 1			
SCALE AS NOTED	PHASE PRELIMINARY	PROJECT / DRAWING No. 300178185.5.DA101	REVISION 02

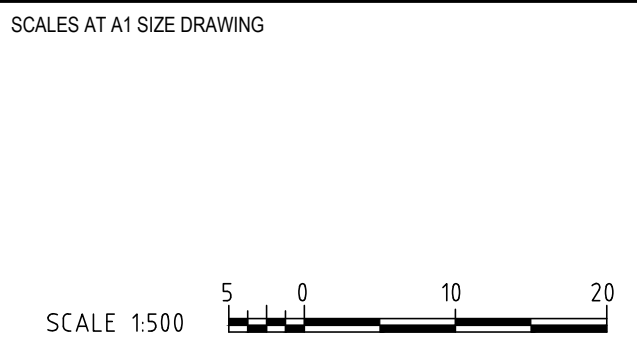


- LEGEND**
- EXISTING CADASTRAL BOUNDARY
 - EXISTING ELECTRICITY
 - EXISTING COMMS LINE
 - EXISTING GAS LINE
 - EXISTING WATER LINE
 - EXISTING SEWER LINE
 - EXISTING CONTOUR
 - DESIGN CONTOUR
 - LOT BOUNDARY
 - K&G / R K
 - INDICATIVE DRIVEWAY LOCATION
 - PROPOSED VEHICULAR CROSSING
 - 1.2m FOOTPATH
 - PRAM RAMP
 - BATTER (1:4 MAX)
 - ROAD CENTRE LINE
 - LIMIT OF WORKS BOUNDARY
 - KERB OUTLET
 - DRAINAGE PIPE WITH PIT
 - DRAINAGE PIPE WITH PIT (EXISTING)
 - SUBSTATION
 - LIMIT OF WORKS
 - EXISTING TREES TO REMAIN
 - SANDSTONE RETAINING WALL
 - NO ACCESS OFF PEPPIN CRES/ ROAD 1



150 mm ON ORIGINAL

DRAWING FILE LOCATION / NAME C:\12d\stage5\SMCS\YN\300178185 - Airds 5 and 9_1278\CAD\01_Dwg\02_DAI\Stage 5\300178185.5.DA102.dwg		PLOT DATE 11/06/2025		TIME 2:12:34 pm	
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		02		04/12/2024	
		03		11/06/2025	
		AMENDMENT / REVISION DESCRIPTION			
		ISSUED FOR APPROVAL			
		ISSUED FOR APPROVAL			
		ISSUED FOR APPROVAL			
		WVR No.			
		001			
		002			
		004			
		APPROVAL			
		G.F.			
		DRAFTER		M. JAMIL	
		DRAFTING CHECK		M. JAMIL	
		DESIGNER		A. ESTEPHEN	
		DESIGN CHECK		M. PATEL	
		PROJECT MANAGER		A. ESTEPHEN	
		PROJECT DIRECTOR		G. FLEMING	



DESIGNER

SMC

Member of the Surlana Jurong Group

© ABN 47 065 475 149

LEVEL 6, 3 HORWOOD PLACE

PARRAMATTA NSW, 2150

PH +61 2 9900 7100

SMC PROJECT No. 300178185.5

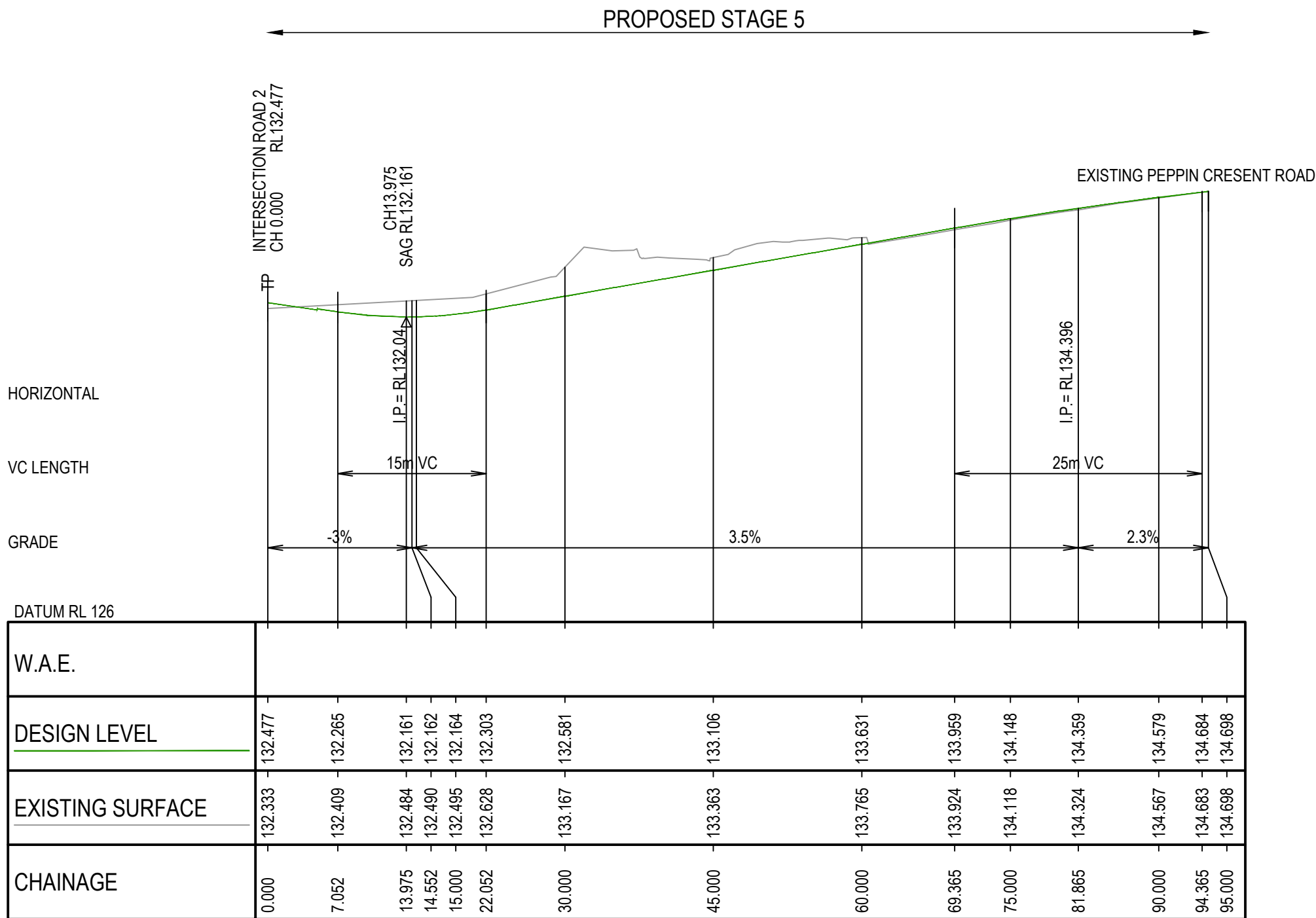
CLIENT

NSW **GOVERNMENT**

Land & Housing Corporation

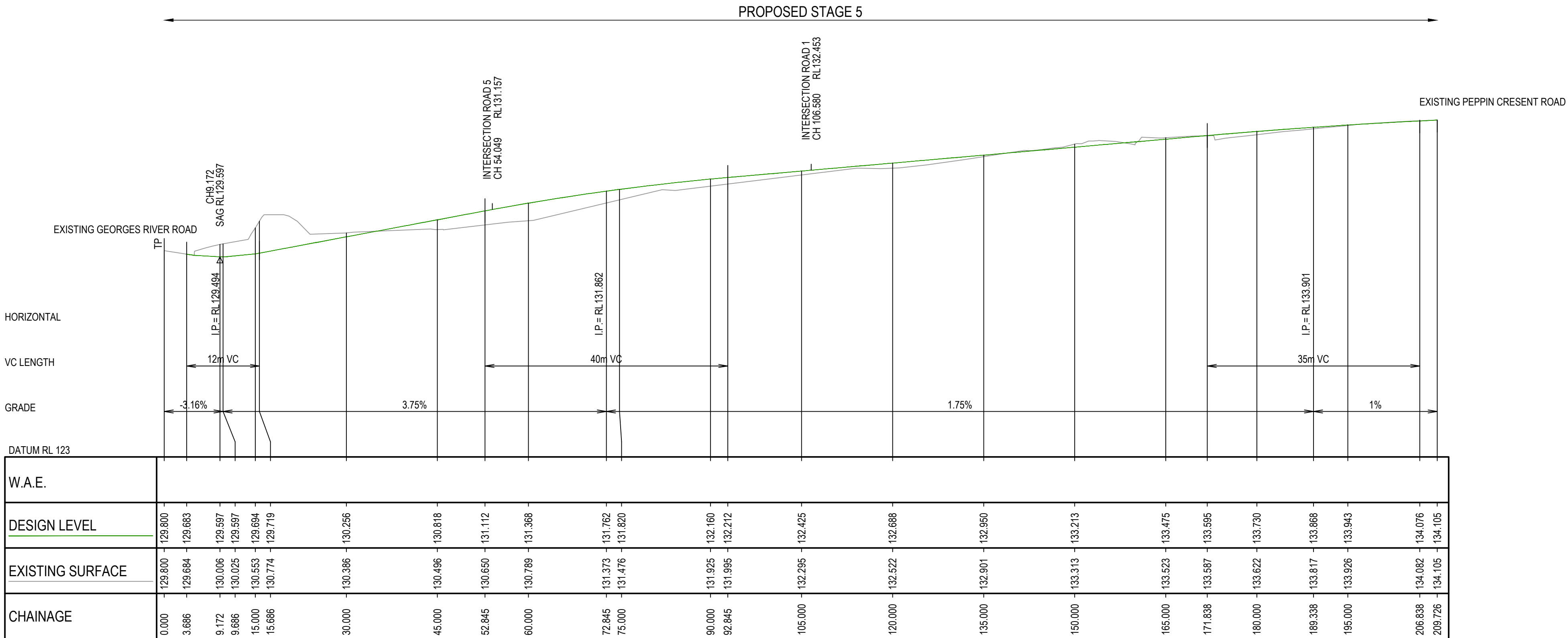
PROJECT TITLE CAMPBELLTOWN CITY COUNCIL AIRDS STAGE 5 - REDEVELOPMENT CIVIL WORKS PLAN SHEET 2			
SCALE AS NOTED	PHASE PRELIMINARY	PROJECT / DRAWING No. 300178185.5.DA102	REVISION 03

150 mm ON ORIGINAL
A1
0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150



ROAD 1 LONG SECTION

1:500 HORI
1:100 VERT



ROAD 2 LONG SECTION

1:500 HORI
1:100 VERT

DRAWING FILE LOCATION / NAME
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PLOT DATE
04/12/2024

TIME
2:34:18 pm

EXTERNAL REFERENCE FILES

REV	DATE	AMENDMENT / REVISION DESCRIPTION
01	27/09/2023	ISSUED FOR APPROVAL
02	04/12/2024	ISSUED FOR APPROVAL

WVR No.
001
002

APPROVAL	TITLE	NAME
G.F.	DRAFTER	M. JAMIL
G.F.	DRAFTING CHECK	M. JAMIL
	DESIGNER	A. ESTEPHEN
	DESIGN CHECK	M. PATEL
	PROJECT MANAGER	A. ESTEPHEN
	PROJECT DIRECTOR	G. FLEMING

SCALES AT A1 SIZE DRAWING
HORIZ. 1:500 VERT. 1:100
5 0 5 10 15 20 25 1 1 2 3 4 5

DESIGNER

**SMC**

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© ABN 47 065 475 149

LEVEL 6, 3 HORWOOD PLACE

PARRAMATTA NSW. 2150

PH +61 2 9900 7100

SMC PROJECT No. 300178185.5

CLIENT

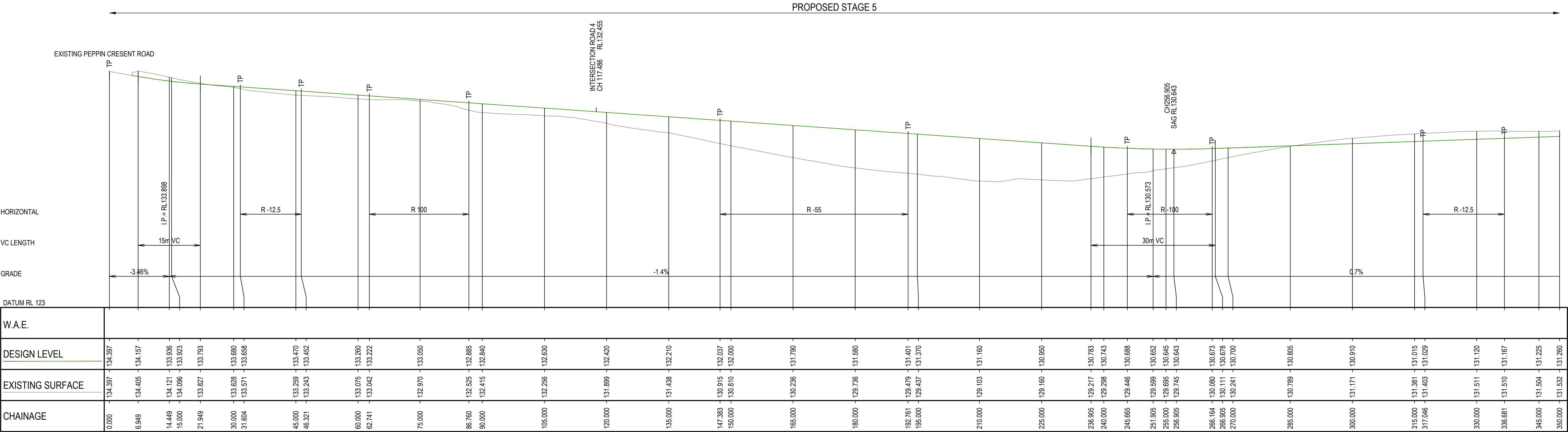
 **Land & Housing Corporation**

PROJECT TITLE	CAMPBELLTOWN CITY COUNCIL AIRDS STAGE 5 - REDEVELOPMENT ROAD LONGITUDINAL SECTIONS SHEET 1
SCALE	AS NOTED
PHASE	PRELIMINARY
PROJECT / DRAWING No.	300178185.5.DA201
REVISION	02

150 mm ON ORIGINAL

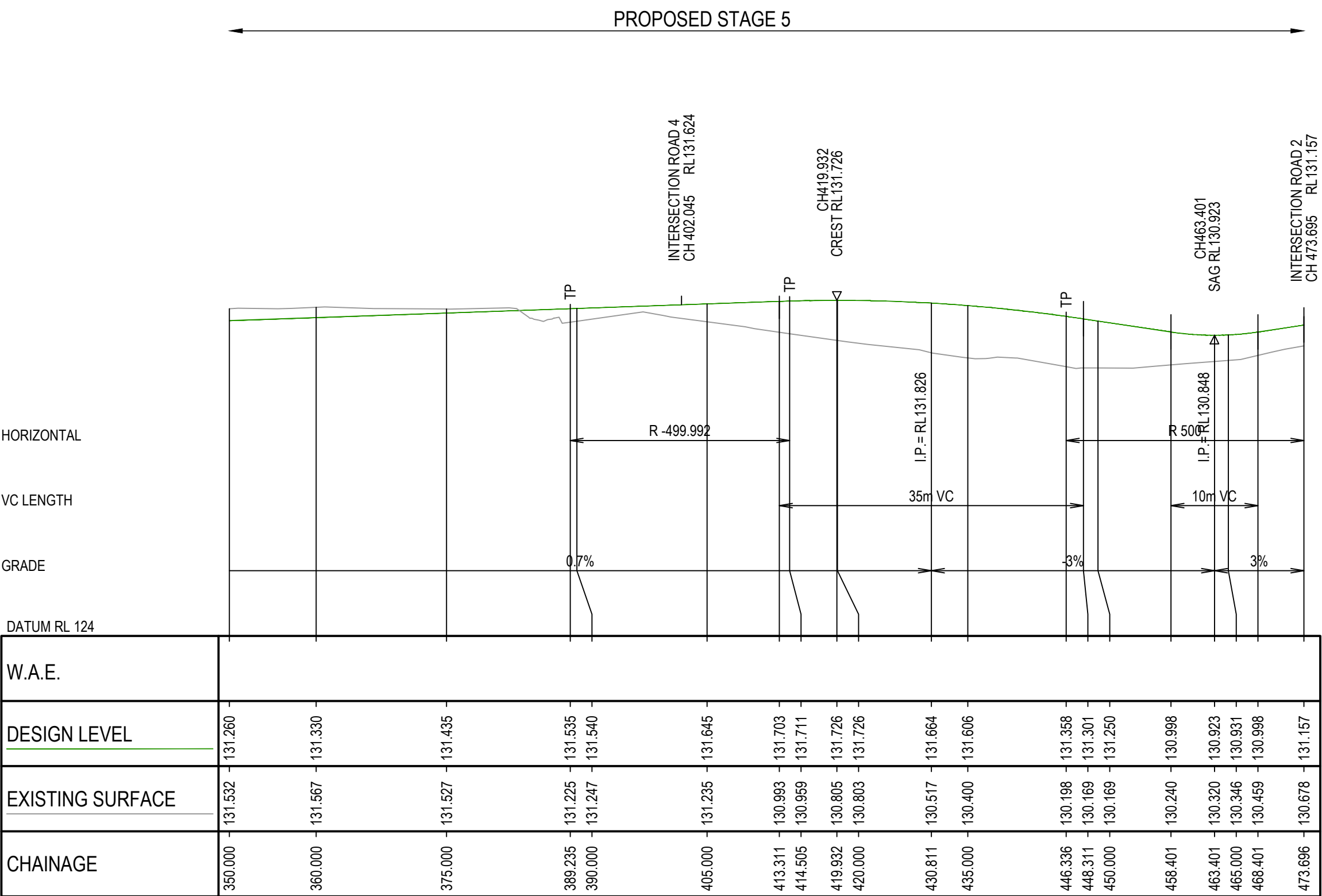
A1

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150



ROAD 3 LONG SECTION

1:500 HORI
1:100 VERT



ROAD 3 LONG SECTION

1:500 HORI
1:100 VERT

DRAWING FILE LOCATION / NAME
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PLOT DATE
04/12/2024

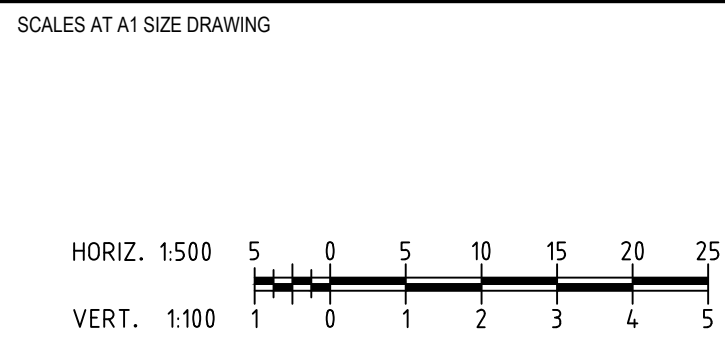
TIME
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02	04/12/2024	ISSUED FOR APPROVAL

WVR No.
001
002

APPROVAL	TITLE	NAME
G.F.	DRAFTER	M. JAMIL
G.F.	DRAFTING CHECK	M. JAMIL
	DESIGNER	A. ESTEPHEN
	DESIGN CHECK	M. PATEL
	PROJECT MANAGER	A. ESTEPHEN
	PROJECT DIRECTOR	G. FLEMING



DESIGNER

 **SMC**

Member of the Surbana Jurong Group

© ABN 47 065 475 149

LEVEL 6, 3 HORWOOD PLACE

PARRAMATTA NSW. 2150

PH +61 2 9900 7100

SMC PROJECT No. 300178185.5

CLIENT

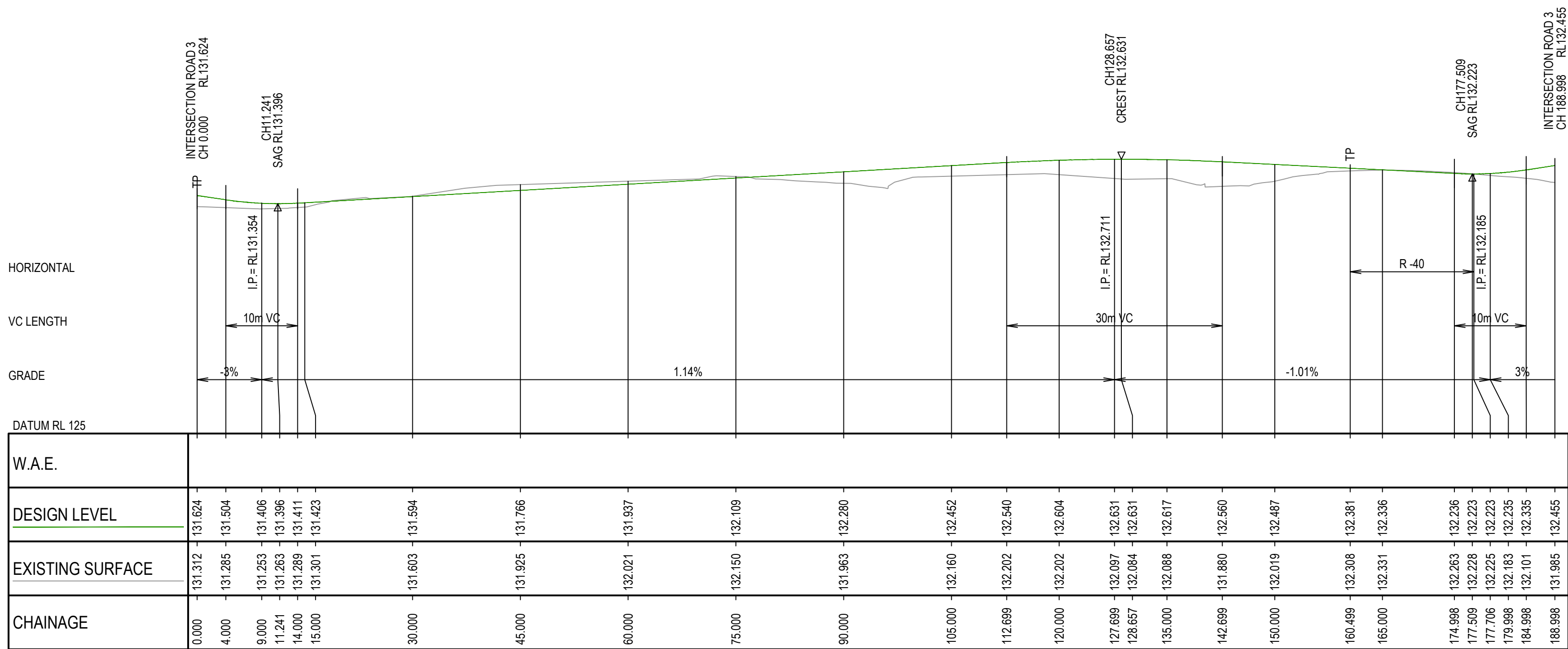
 **Land & Housing Corporation**

PROJECT TITLE CAMPBELLTOWN CITY COUNCIL AIRDS STAGE 5 - REDEVELOPMENT ROAD LONGITUDINAL SECTIONS SHEET 2			
SCALE AS NOTED	PHASE PRELIMINARY	PROJECT / DRAWING No. 300178185.5.DA202	REVISION 02

150 mm ON ORIGINAL

A1

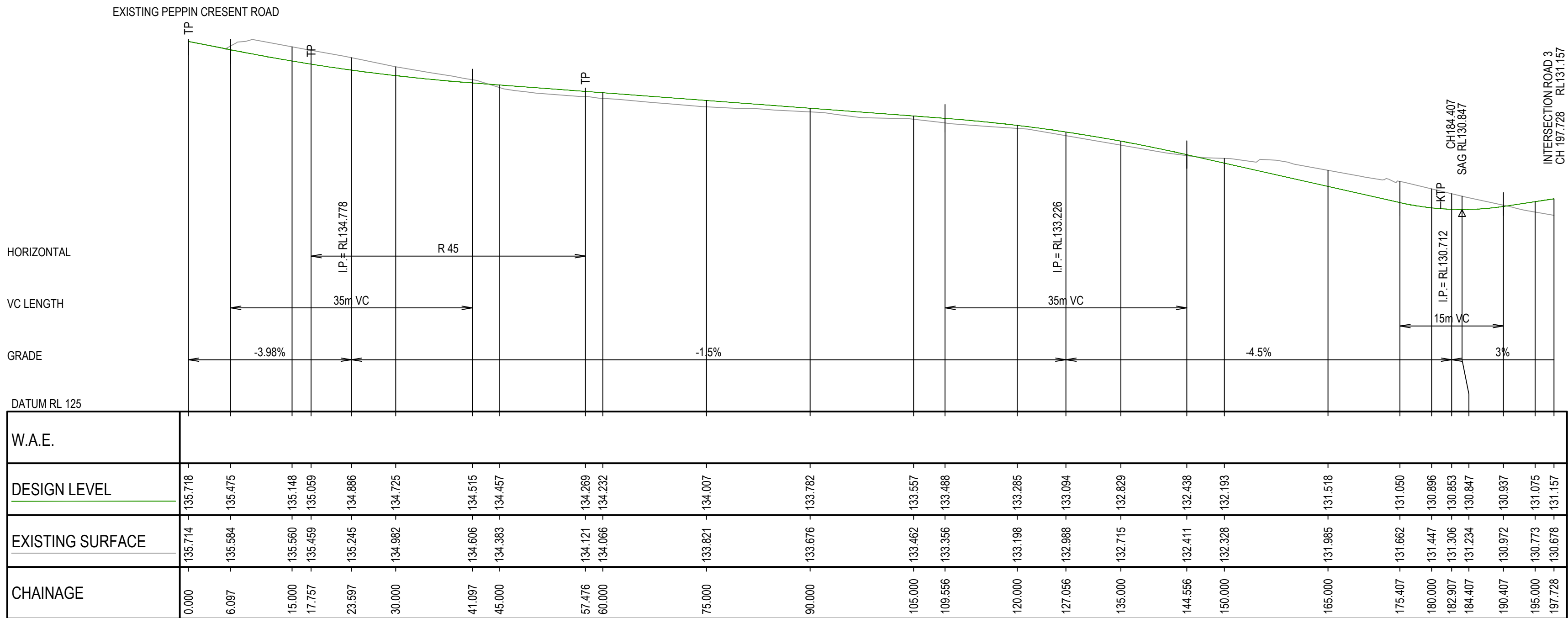
PROPOSED STAGE 5



ROAD 4 LONG SECTION

1:500 HORI
1:100 VERT

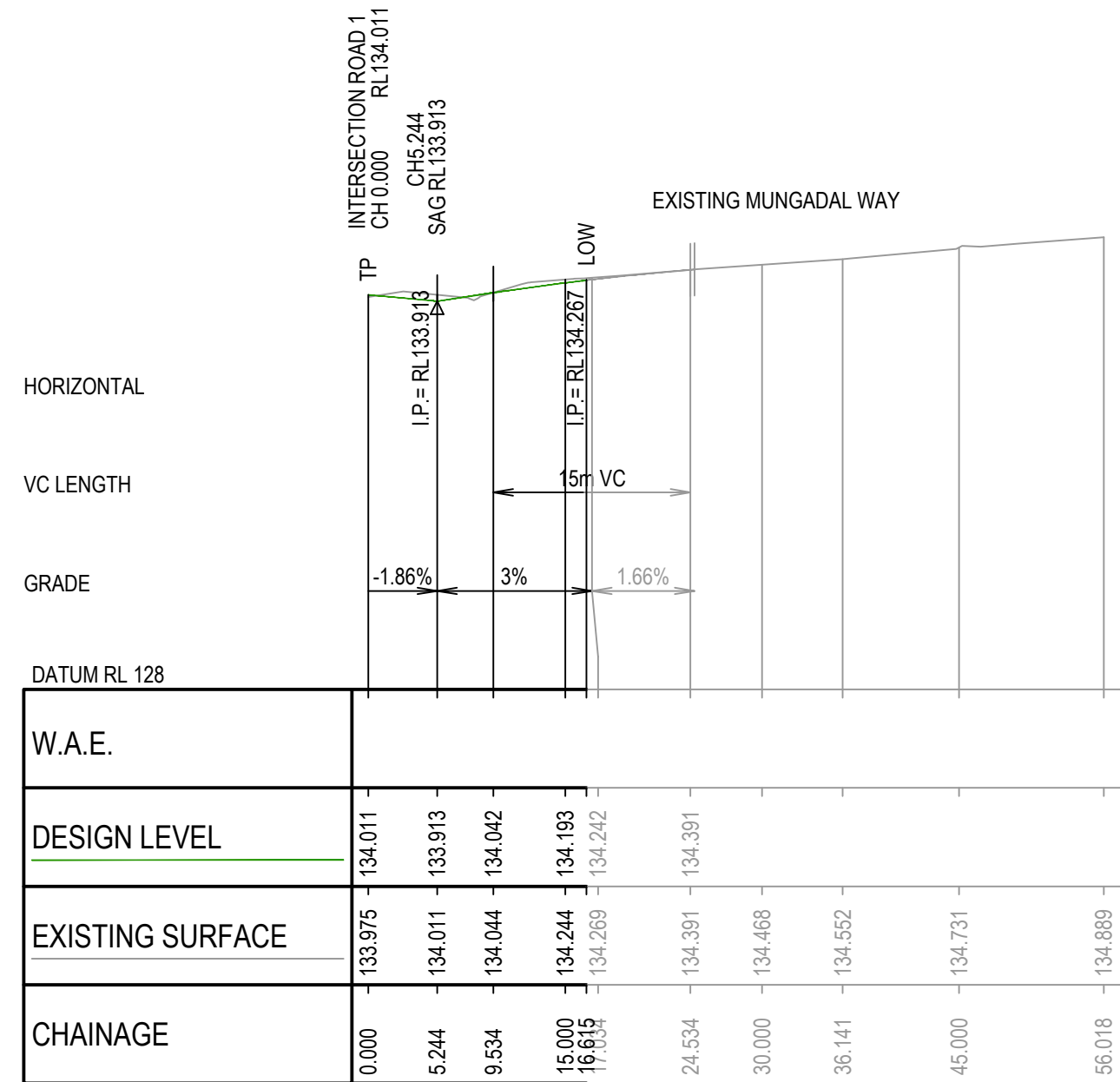
PROPOSED STAGE 5



ROAD 5 LONG SECTION

1:500 HORI
1:100 VERT

PROPOSED STAGE 5



ROAD 6 LONG SECTION

1:500 HORI
1:100 VERT

DRAWING FILE LOCATION / NAME
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PLOT DATE
04/12/2024

TIME
2:34:18 pm


EXTERNAL REFERENCE FILES

REV	DATE	AMENDMENT / REVISION DESCRIPTION
01	27/09/2023	ISSUED FOR APPROVAL
02	04/12/2024	ISSUED FOR APPROVAL

WVR No.
001
002

APPROVAL	TITLE	NAME
G.F.	DRAFTER	M. JAMIL
G.F.	DRAFTING CHECK	M. JAMIL
	DESIGNER	A. ESTEPHEN
	DESIGN CHECK	M. PATEL
	PROJECT MANAGER	A. ESTEPHEN
	PROJECT DIRECTOR	G. FLEMING

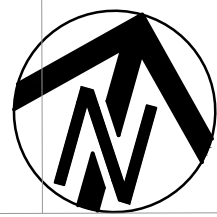
SCALES AT A1 SIZE DRAWING
HORIZ. 1:500
VERT. 1:100

DESIGNER

Member of the Surbana Jurong Group
© ABN 47 065 475 149
LEVEL 6, 3 HORWOOD PLACE
PARRAMATTA NSW. 2150
PH +61 2 9900 7100
SMC PROJECT No. 300178185.5

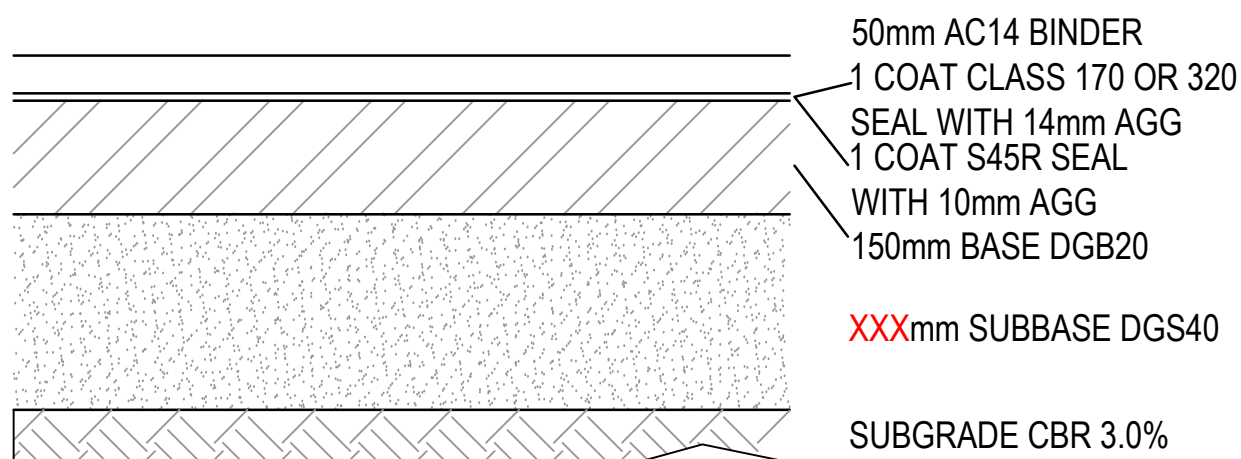
CLIENT

Land & Housing Corporation

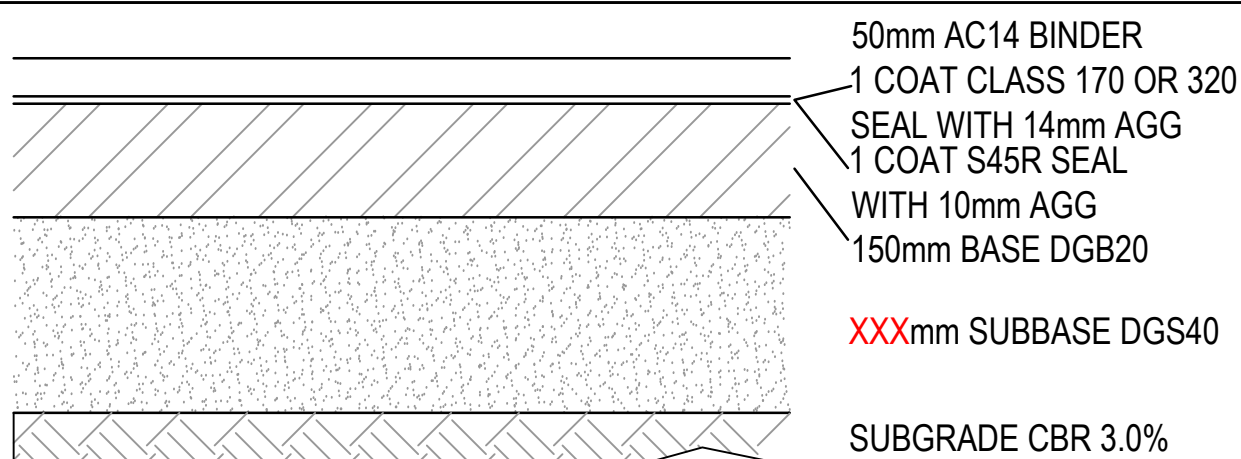
PROJECT TITLE CAMPBELLTOWN CITY COUNCIL AIRDS STAGE 5 - REDEVELOPMENT ROAD LONGITUDINAL SECTIONS SHEET 3			
SCALE AS NOTED	PHASE PRELIMINARY	PROJECT / DRAWING No. 300178185.5.DA203	REVISION 02



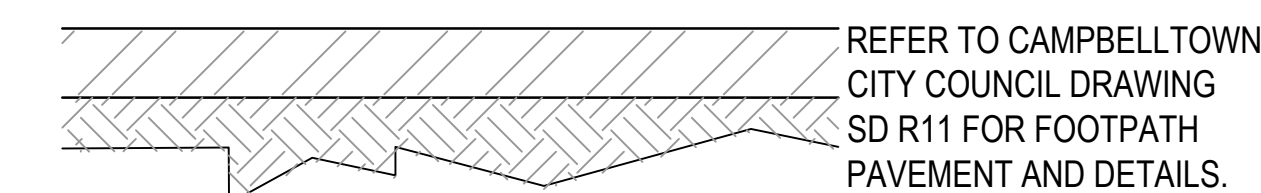
LEGEND:



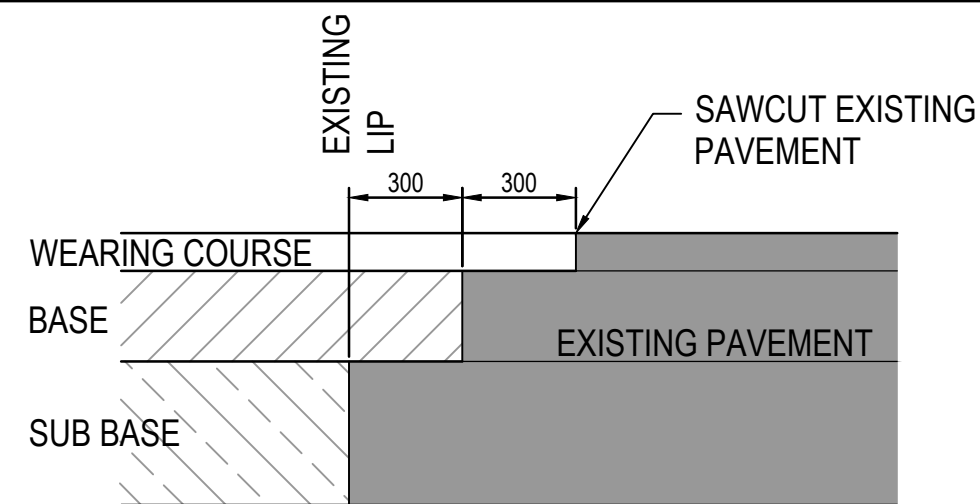
PAVEMENT TYPE A (ESA 1.0x10⁶)



PAVEMENT TYPE B (ESA 1.0x10⁶)



FOOTPATH PAVEMENT



INTERFACE WITH EXISTING PAVEMENT
JOINT DETAIL

DRAWING FILE LOCATION / NAME
C:\12d\data\SMES\YN\300178185 - Airs 5 and 9_1278\CAD\01_Dwg\02_DAI\Stage 5\300178185.5.DA351.dwg

PLOT DATE
04/12/2024

TIME
2:34:35 pm

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	01	27/09/2023	ISSUED FOR APPROVAL	001	G.F.	DRAFTER	M. JAMIL
	02	04/12/2024	ISSUED FOR APPROVAL	002	G.F.	DRAFTING CHECK	M. JAMIL
						DESIGNER	A. ESTEPHEN
						DESIGN CHECK	M. PATEL
						PROJECT MANAGER	A. ESTEPHEN
						PROJECT DIRECTOR	G. FLEMING

APPROVAL	TITLE	NAME
G.F.	DRAFTER	M. JAMIL
G.F.	DRAFTING CHECK	M. JAMIL
	DESIGNER	A. ESTEPHEN
	DESIGN CHECK	M. PATEL
	PROJECT MANAGER	A. ESTEPHEN
	PROJECT DIRECTOR	G. FLEMING

SCALES AT A1 SIZE DRAWING

SCALE 1:750

DESIGNER
SMC
Member of the Subana Jurong Group
© ABN 47 065 475 149
LEVEL 6, 3 HORWOOD PLACE
PARRAMATTA NSW, 2150
PH +61 2 9900 7100
SMC PROJECT No. 300178185.5

CLIENT
NSW
Land & Housing
Corporation

PROJECT TITLE
CAMPBELLTOWN CITY COUNCIL
AIRDS STAGE 5 - REDEVELOPMENT
**PAVEMENT
PLAN**

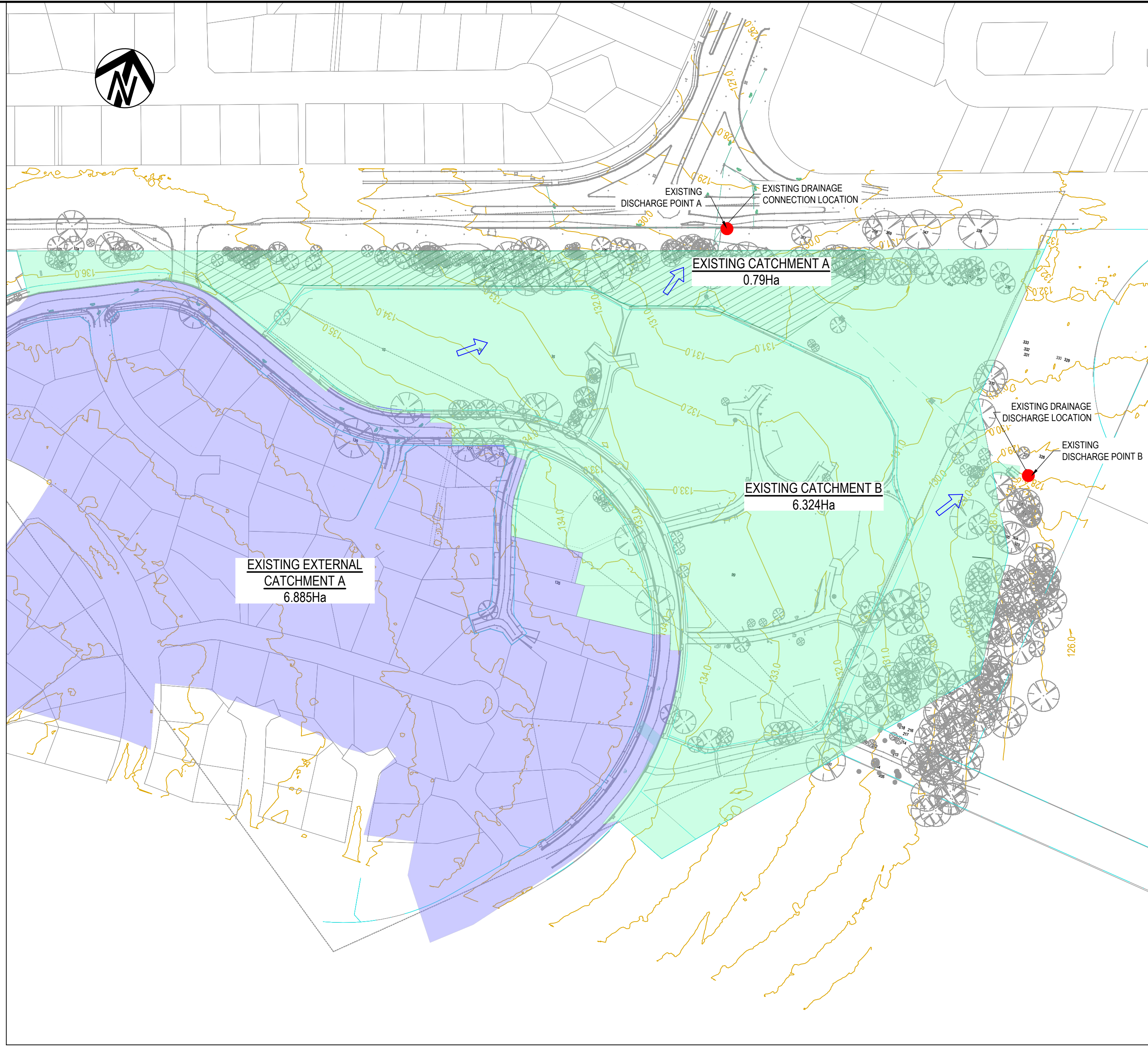
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AS NOTED	PRELIMINARY	300178185.5.DA351	02

NOTES:

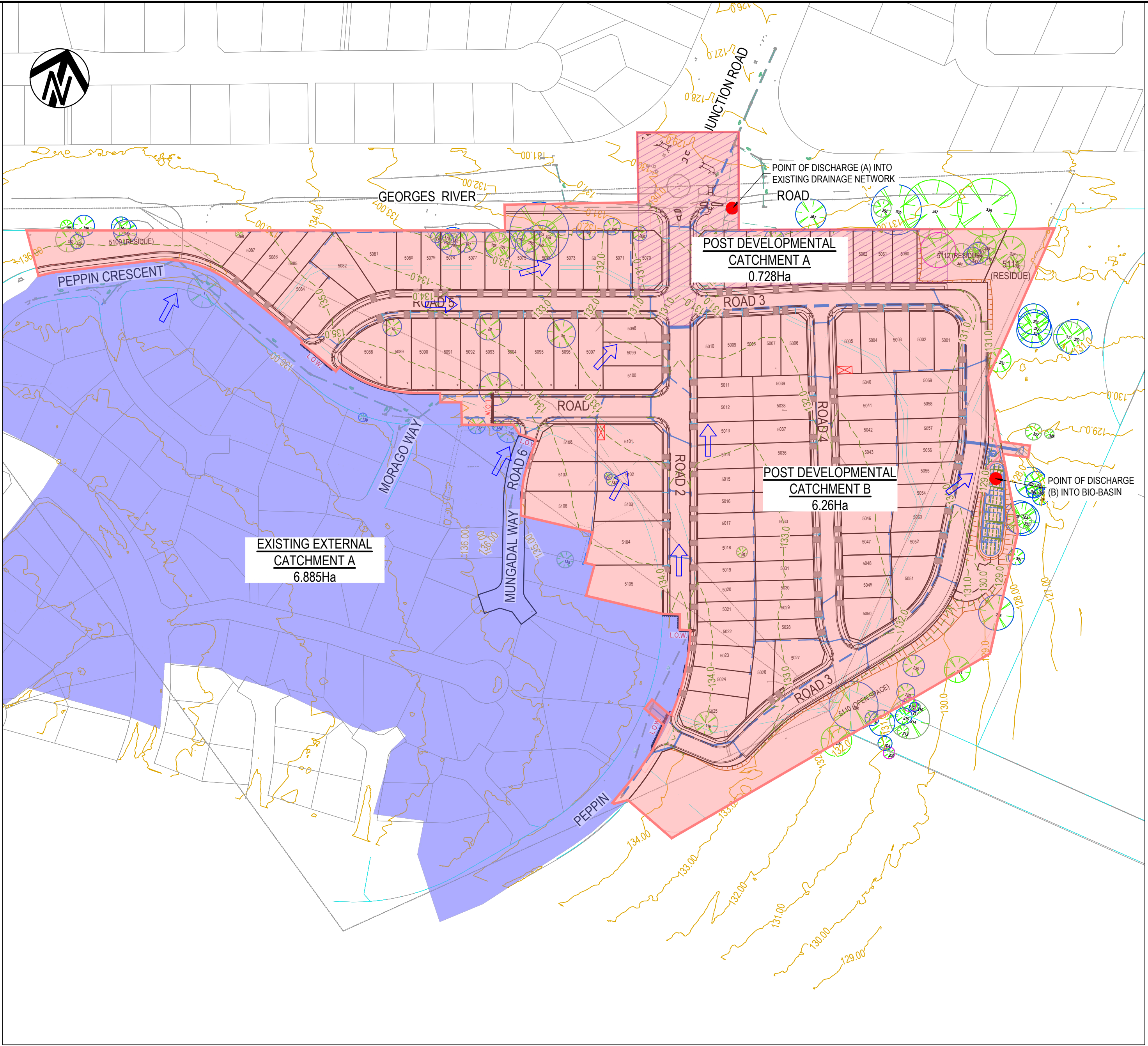
- PLEASE REFER TO GEOTECHNICAL REPORT BY XXXXXX FOR MORE DETAIL ON PAVEMENT DESIGN.
- PAVEMENT DESIGN IS INDICATIVE ONLY FOR TENDERING PURPOSES. FINAL PAVEMENT DESIGN FOR CONSTRUCTION TO BE CONFIRMED ON SITE FOLLOWING CBR VERIFICATION.
- PAVEMENT DESIGN INCLUDING CBR TESTING IS TO BE SUBMITTED TO COUNCIL FOR APPROVAL PRIOR TO CONSTRUCTION.



150 mm ON ORIGINAL
A1
0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150



PRE - DEVELOPMENTAL CATCHMENT PLAN
SCALE 1:1000



POST DEVELOPMENTAL CATCHMENT PLAN
SCALE 1:1000

LEGEND

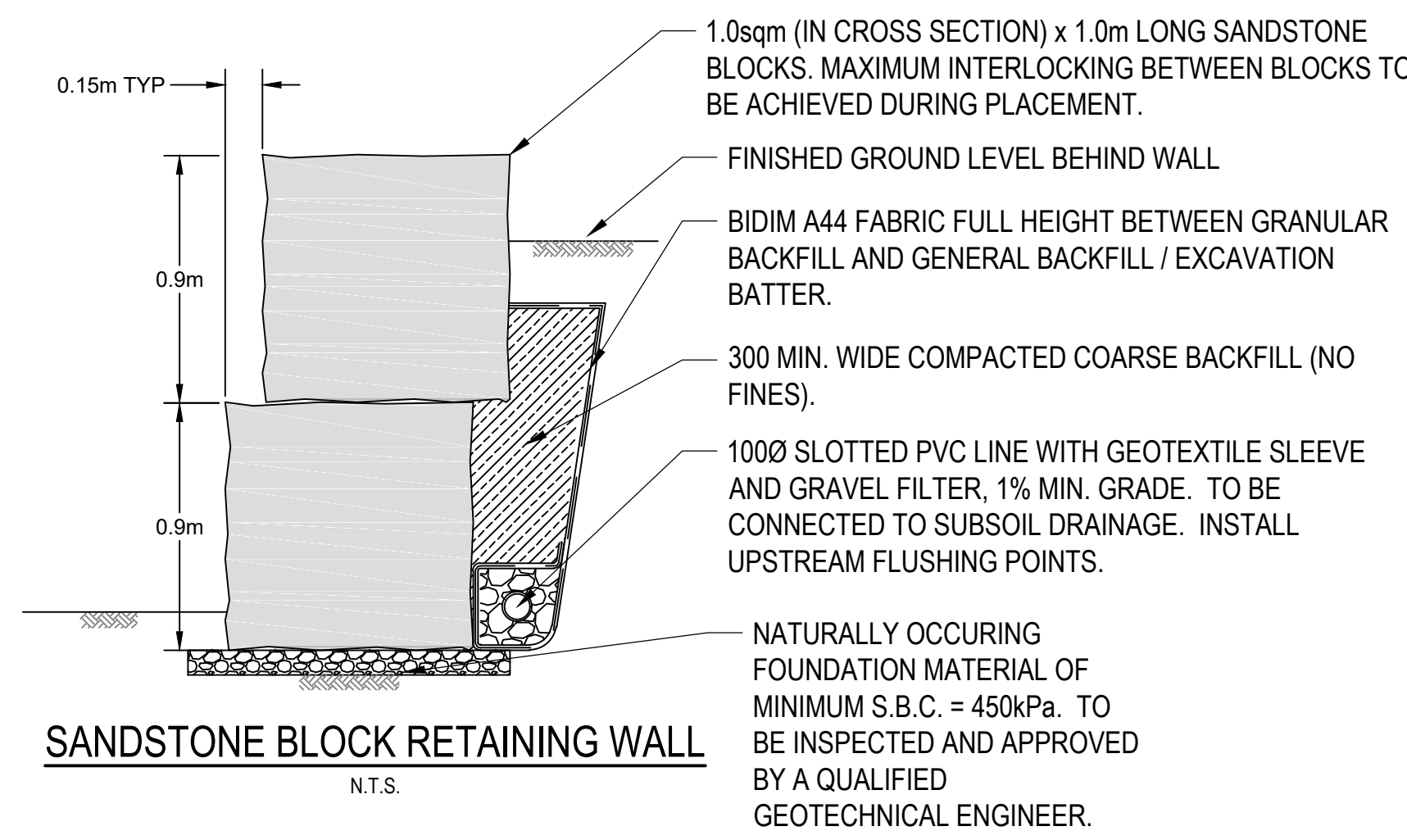
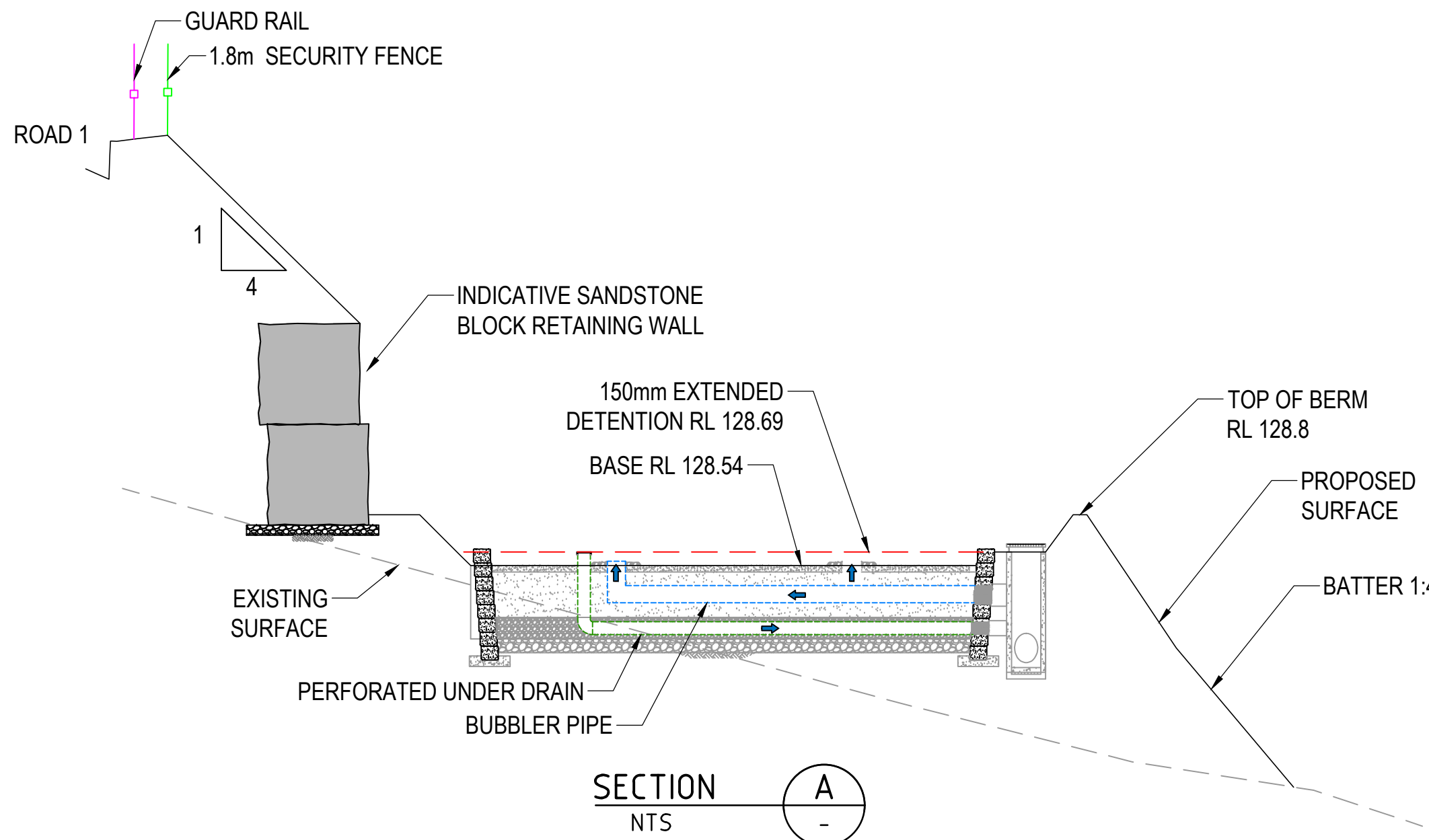
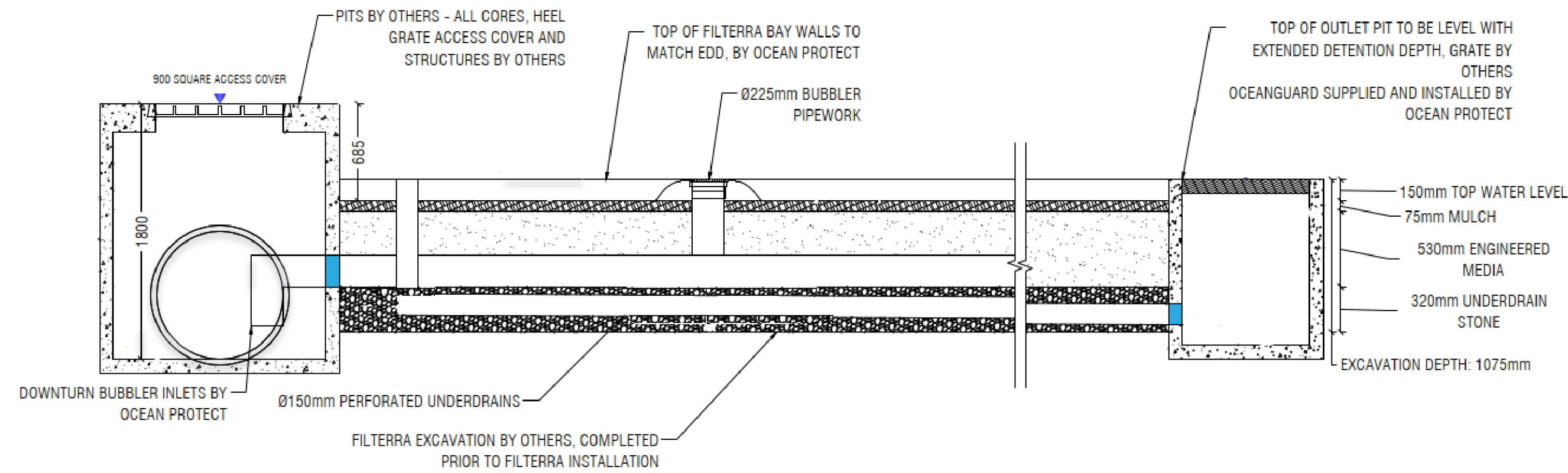
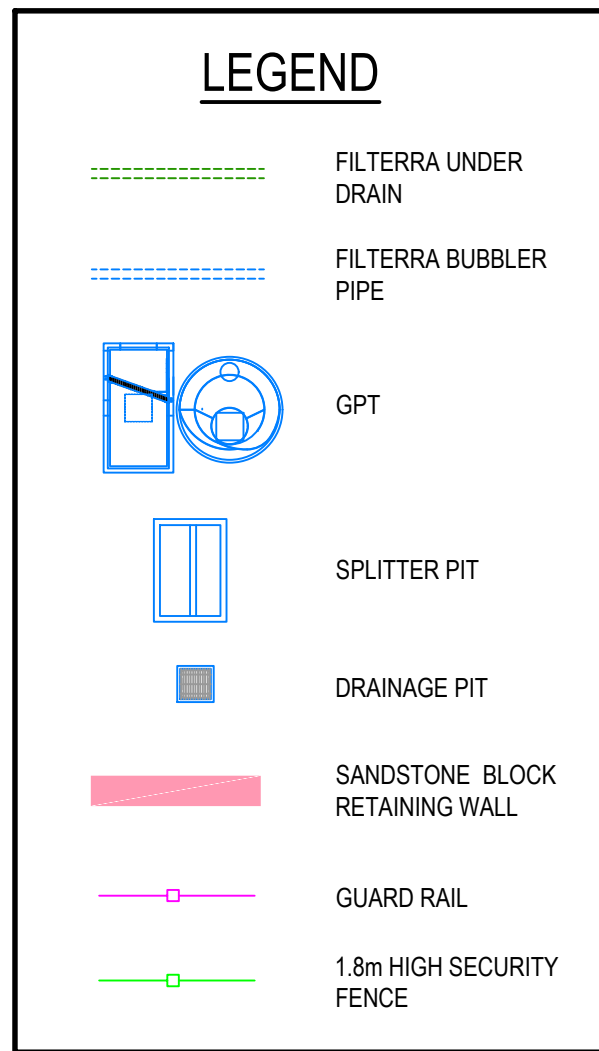
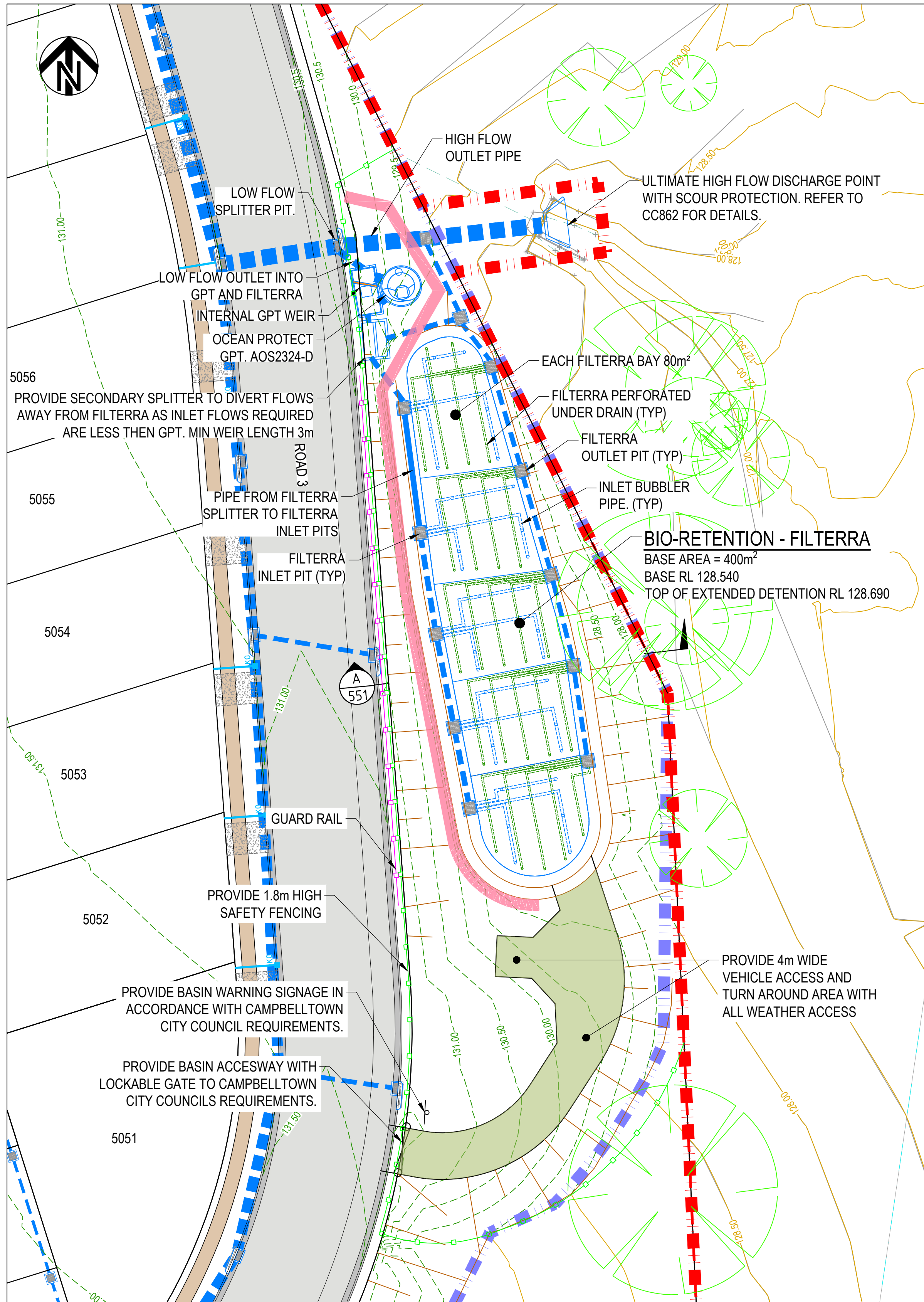
- EXISTING CADASTRAL BOUNDARY
- EXISTING CONTOUR
- DESIGN CONTOUR
- DRAINAGE PIPE WITH PIT
- DRAINAGE PIPE WITH PIT (EXISTING)
- POINT OF DISCHARGE
- FLOW DIRECTION
- EXISTING CATCHMENT
- PROPOSED CATCHMENTS



150 mm ON ORIGINAL
A1
0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150

DRAWING FILE LOCATION / NAME C:\12d\data\SMECS\YN\300178185 - Airs 5 and 9_1278\CAD\01_Dwg\02_DAI\Stage 5\300178185.5.DA501.dwg				PLOT DATE 04/12/2024		TIME 2:34:59 pm	
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	02	04/12/2024	ISSUED FOR APPROVAL	002	G.F.	DRAFTING CHECK	M. JAMIL
						DESIGNER	A. ESTEPHEN
						DESIGN CHECK	M. PATEL
						PROJECT MANAGER	A. ESTEPHEN
						PROJECT DIRECTOR	G. FLEMING
				SCALES AT A1 SIZE DRAWING			
				SCALE 1:1500 10 0 10 20 30 40 50			
				DESIGNER SMEC Member of the Surbana Jurong Group © ABN 47 065 475 149 LEVEL 6, 3 HORWOOD PLACE PARRAMATTA NSW, 2150 PH +61 2 9900 7100 SMEC PROJECT No. 300178185.5			
				CLIENT Land & Housing Corporation			
				PROJECT TITLE CAMPBELLTOWN CITY COUNCIL AIRDS STAGE 5 - REDEVELOPMENT DRAINAGE CATCHMENT PLAN			
SCALE AS NOTED		PHASE PRELIMINARY		PROJECT / DRAWING No. 300178185.5.DA501		REVISION 02	

150 mm ON ORIGINAL
A1
0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150



WARNING FINES APPLY

It is illegal to allow soil, cement slurry or other building materials to enter, drain or be pumped into the stormwater system.

Campbelltown City Council 4645 4608
Protecting our waterways
campbelltown.nsw.gov.au

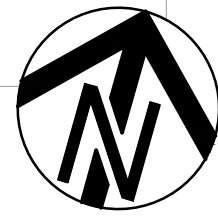
THE SIGN(S) MUST BE CONSTRUCTED OF DURABLE MATERIALS, AT LEAST THE SIZE OF A STANDARD "FOR SALE" SIGN (1200X900). THE WORDING OF THE SIGN MUST BE AS FOLLOWS: THE WARNING AND FINE STATEMENT WORDING MUST BE AT LEAST 120mm HIGH AND THE REMAINDER, AT LEAST 60mm HIGH. THE WARNING AND FINE DETAILS MUST BE RED BOLD CAPITALS AND THE REMAINING WORDS IN DARK COLOURED LOWER CASE LETTERS ON A WHITE BACKGROUND, SURROUNDED BY A RED BORDER.
(CONTRACTOR TO CONFIRM FINAL SIGNAGE WITH COUNCIL)

POLLUTANT SIGN

DRAWING FILE LOCATION / NAME C:\12d\data\SMES\YN\300178185 - Airds 5 and 9_1278\CAD\01_Dwg\02_DAI\Stage 5\300178185.5.DA551.dwg				PLOT DATE 04/12/2024		TIME 2:34:43 pm	
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	02	04/12/2024	ISSUED FOR APPROVAL	002	G.F.	DRAFTING CHECK	M. JAMIL
						DESIGNER	A. ESTEPHEN
						DESIGN CHECK	M. PATEL
						PROJECT MANAGER	A. ESTEPHEN
						PROJECT DIRECTOR	G. FLEMING
SCALES AT A1 SIZE DRAWING				DESIGNER SMC Member of the Surbana Jurong Group © ABN 47 065 475 149 LEVEL 6, 3 HORWOOD PLACE PARRAMATTA NSW. 2150 PH +61 2 9900 7100 SMC PROJECT No. 300178185.5			
CLIENT NSW Land & Housing Corporation				PROJECT TITLE CAMPBELLTOWN CITY COUNCIL AIRDS STAGE 5 - REDEVELOPMENT BIO-RETENTION BASIN PLAN AND SECTION			
SCALE AS NOTED		PHASE PRELIMINARY		PROJECT / DRAWING No. 300178185.5.DA551		REVISION 02	

150 mm ON ORIGINAL

0 10 20 30 40 50 60 70 80 90 100 110 120 130 140 150



EXISTING LINEMARKING INCLUDING BB
AND RIGHT TURN TO BE REMOVED.
PROVIDE NEW BB LINE AS SHOWN.

116m (BB)

EXISTING LINEMARKING
TO BE REMOVED

5109 (RESIDUE)

PEPPIN CRESCENT

GEORGES RIVER

ROAD

5112 (RESIDUE)

5111 (RESIDUE)

LEGEND

- BB LINE
- HOLDING LINE
- HOLDING LINE
- EDGE LINE
- CHEVRON LINE

NOTE:
MARKERS TO BE MONO-DIRECTIONAL WHITE
REFLECTIVE UNLESS NOTED OTHERWISE.

SIGN POSTING:



GIVE WAY

R1-2



ROUNDABOUT

R1-3



KEEP LEFT

R2-3(L)



STREET SIGN POST

NOTE:

- TRAFFIC MANAGEMENT SCHEME SIGN POSTING AND
LINE MARKING TO BE IN ADAORDANCE TO R.M.S.
(R.T.A.) STANDARD DELINEATION GUIDELINES AND
AUSTRALIAN STANDARDS AS 1742.2-2009. SIGNS
SHOWN ARE DIAGRAMMATIC ONLY.
- NO STOPPING TREATMENT TO BE DETERMINED BY
THE LOCAL TRAFFIC COMMITTEE.



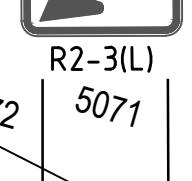
MORAGO WAY

MUNGADAL WAY

PEPPIN



R1-2



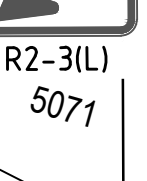
R1-2



R2-3(L)



R1-3



R1-2



R1-2



R1-2



R1-2

DRAWING FILE LOCATION / NAME
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PLOT DATE
04/12/2024

TIME
2:34:43 pm

EXTERNAL REFERENCE FILES	REV	DATE	AMENDMENT / REVISION DESCRIPTION	WVR No.	APPROVAL	TITLE	NAME
	01	27/09/2023	ISSUED FOR APPROVAL	001	G.F.	DRAFTER	M. JAMIL
	02	04/12/2024	ISSUED FOR APPROVAL	002	G.F.	DRAFTING CHECK	M. JAMIL
						DESIGNER	A. ESTEPHEN
						DESIGN CHECK	M. PATEL
						PROJECT MANAGER	A. ESTEPHEN
						PROJECT DIRECTOR	G. FLEMING

APPROVAL	TITLE	NAME
G.F.	DRAFTER	M. JAMIL
G.F.	DRAFTING CHECK	M. JAMIL
	DESIGNER	A. ESTEPHEN
	DESIGN CHECK	M. PATEL
	PROJECT MANAGER	A. ESTEPHEN
	PROJECT DIRECTOR	G. FLEMING

SCALES AT A1 SIZE DRAWING

SCALE 1:750

DESIGNER

SMC
Member of the Surlana Jurong Group
© ABN 47 065 475 149
LEVEL 6, 3 HORWOOD PLACE
PARRAMATTA NSW. 2150
PH +61 2 9900 7100
SMC PROJECT No. 300178185.5

CLIENT

NSW
GOVERNMENT
Land & Housing
Corporation

PROJECT TITLE

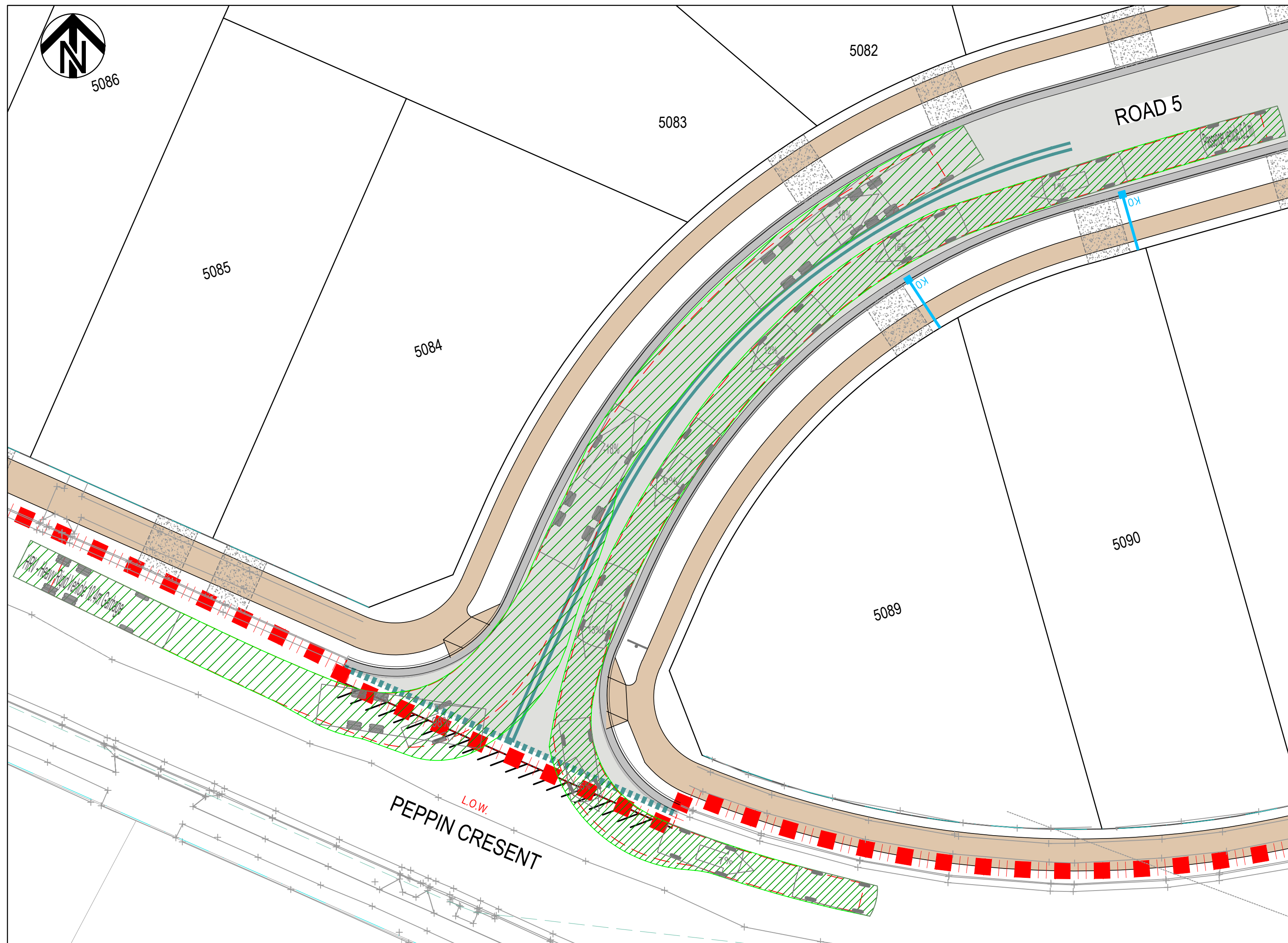
CAMPBELLTOWN CITY COUNCIL
AIRDS STAGE 5 - REDEVELOPMENT
SIGNAGE AND LINE MARKING
PLAN

SCALE
AS NOTED

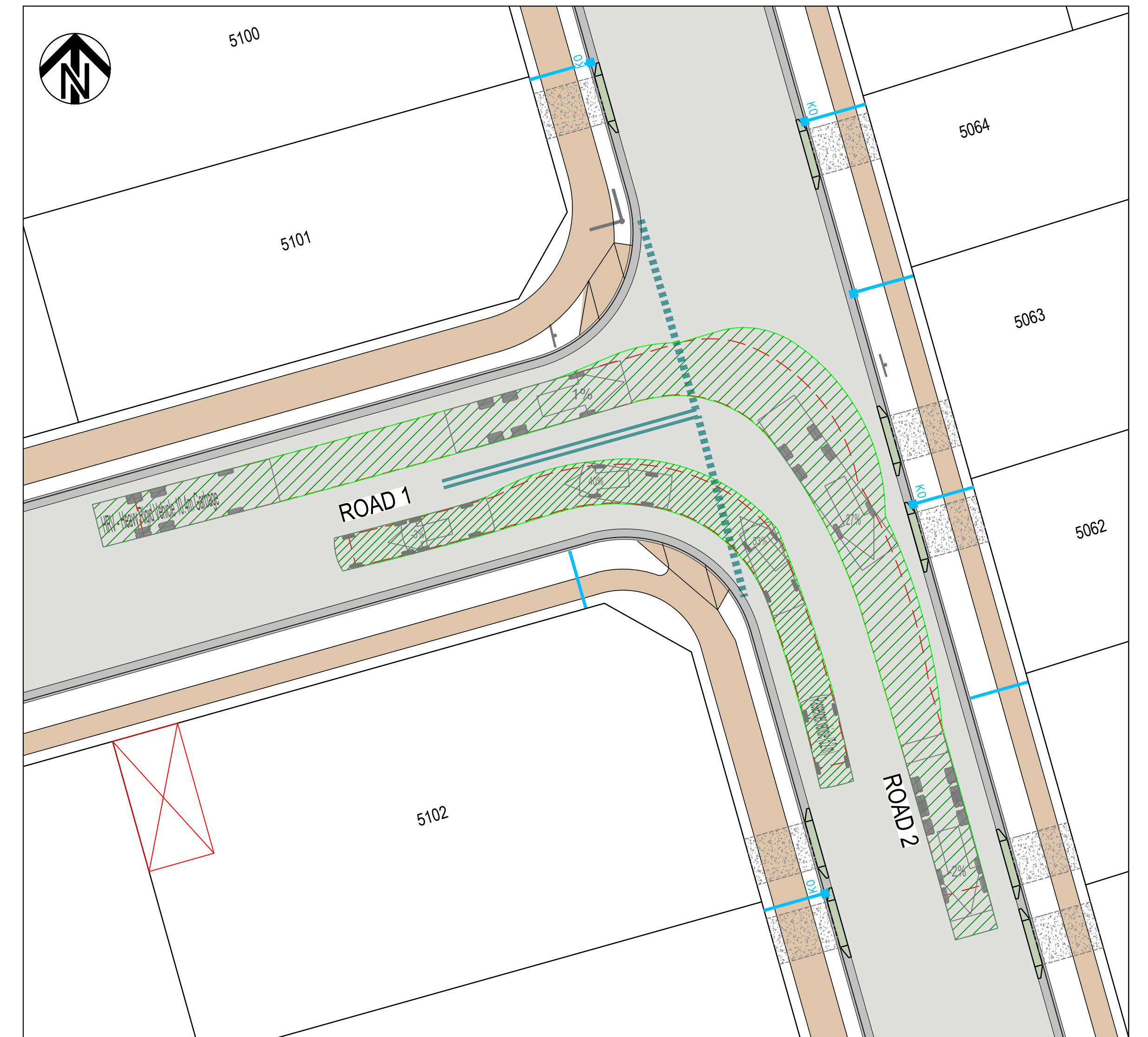
PHASE
PRELIMINARY

PROJECT / DRAWING No.
300178185.5.DA801

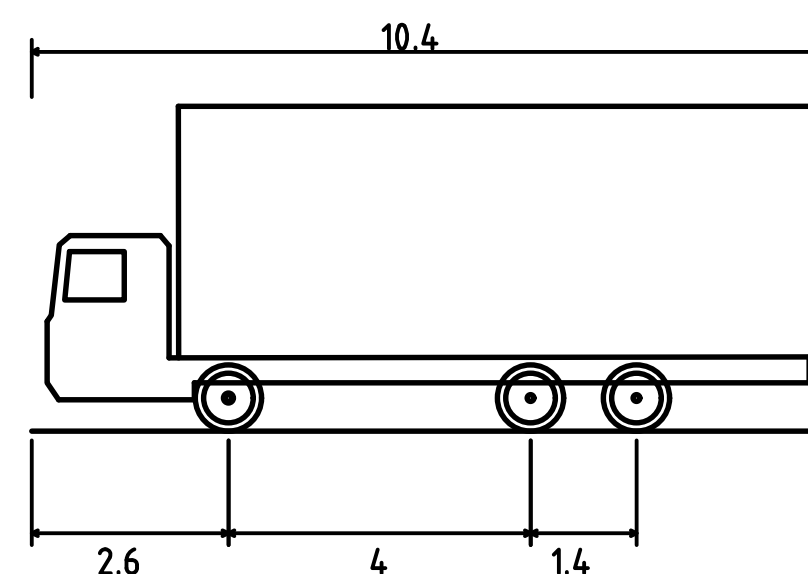
REVISION
02



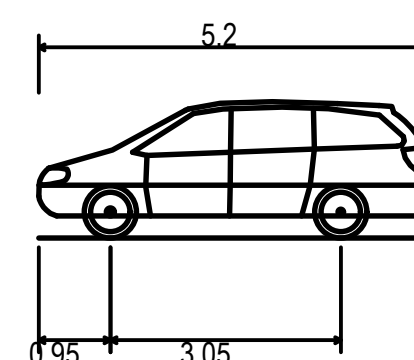
TURNING PATH PLAN - 10.4m GARBAGE VEHICLE &
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SCALE 1:200



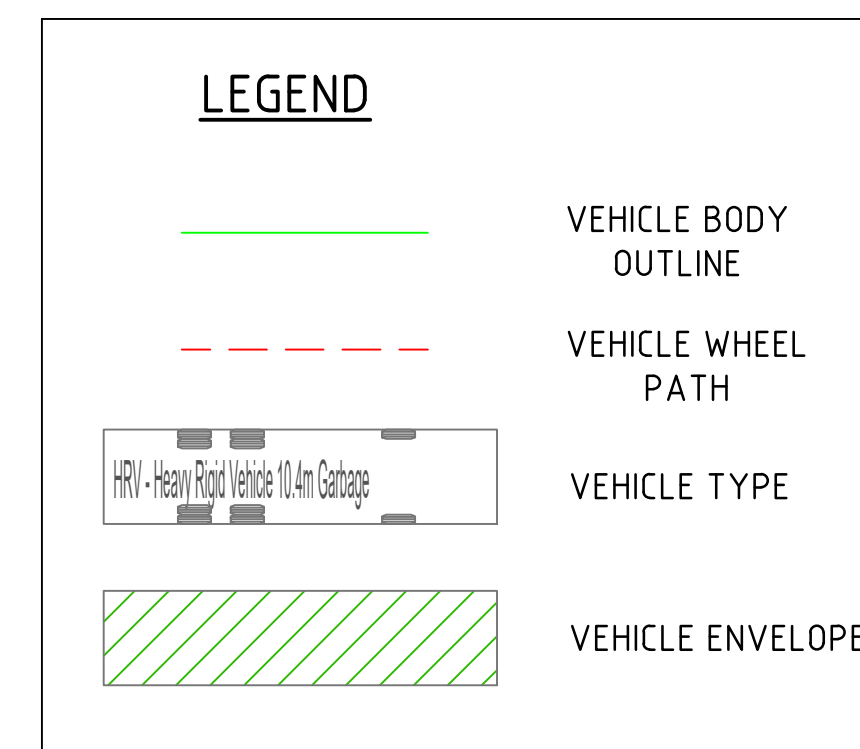
TURNING PATH PLAN - 10.4m GARBAGE VEHICLE &
B85 PASSENGER VEHICLE
SCALE 1:200



HRV - Heavy Rigid Vehicle 10.4m Garbage
Overall Length 10.400m
Overall Width 2.500m
Overall Body Height 4.300m
Min Body Ground Clearance 0.417m
Track Width 2.500m
Lock-to-lock time 6.00s
Curb to Curb Turning Radius 12.500m

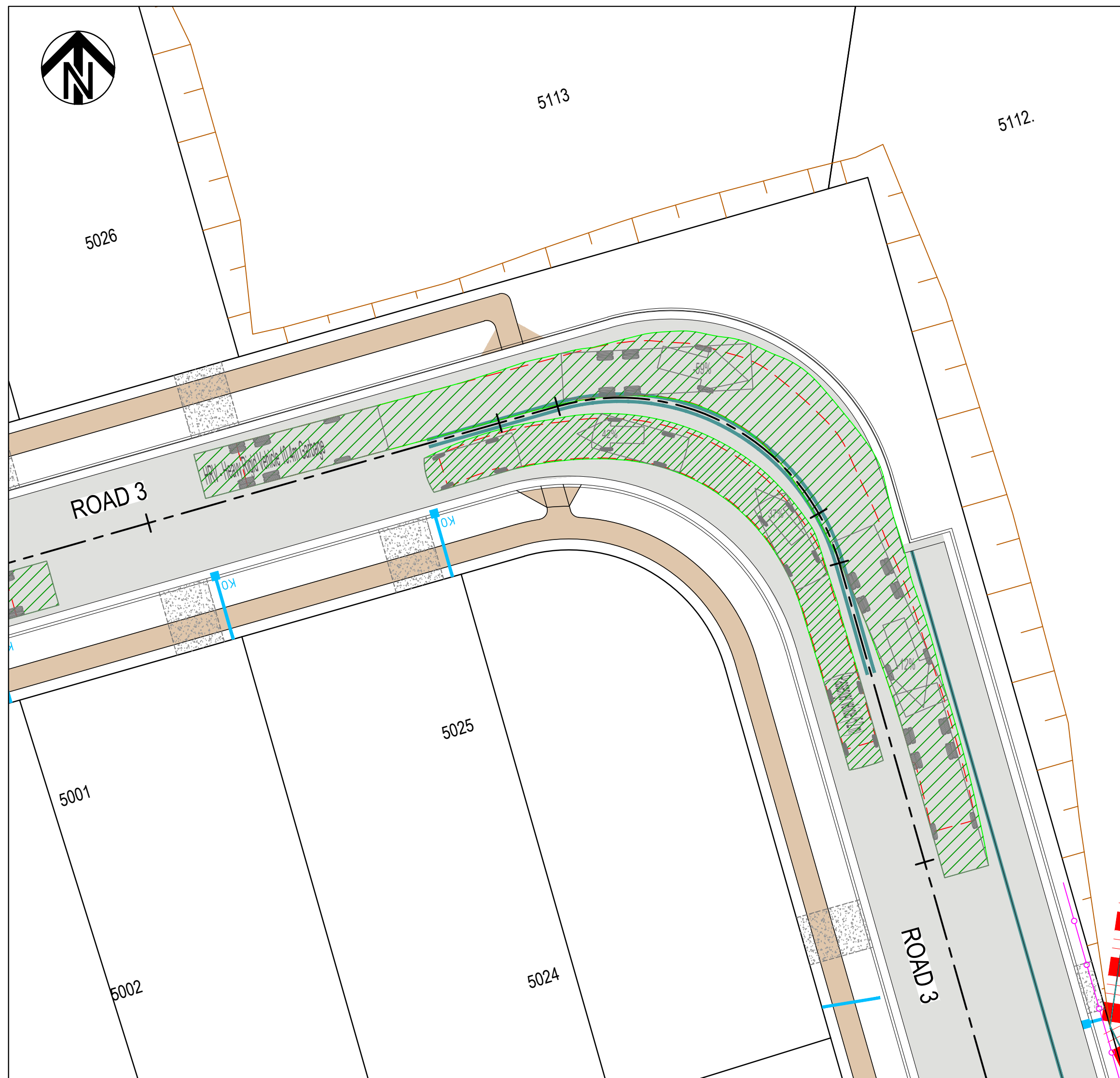


Passenger vehicle (5.2 m)
Overall Length 5.200m
Overall Width 1.940m
Overall Body Height 1.804m
Min Body Ground Clearance 0.295m
Track Width 1.840m
Lock-to-lock time 4.00s
Curb to Curb Turning Radius 6.300m

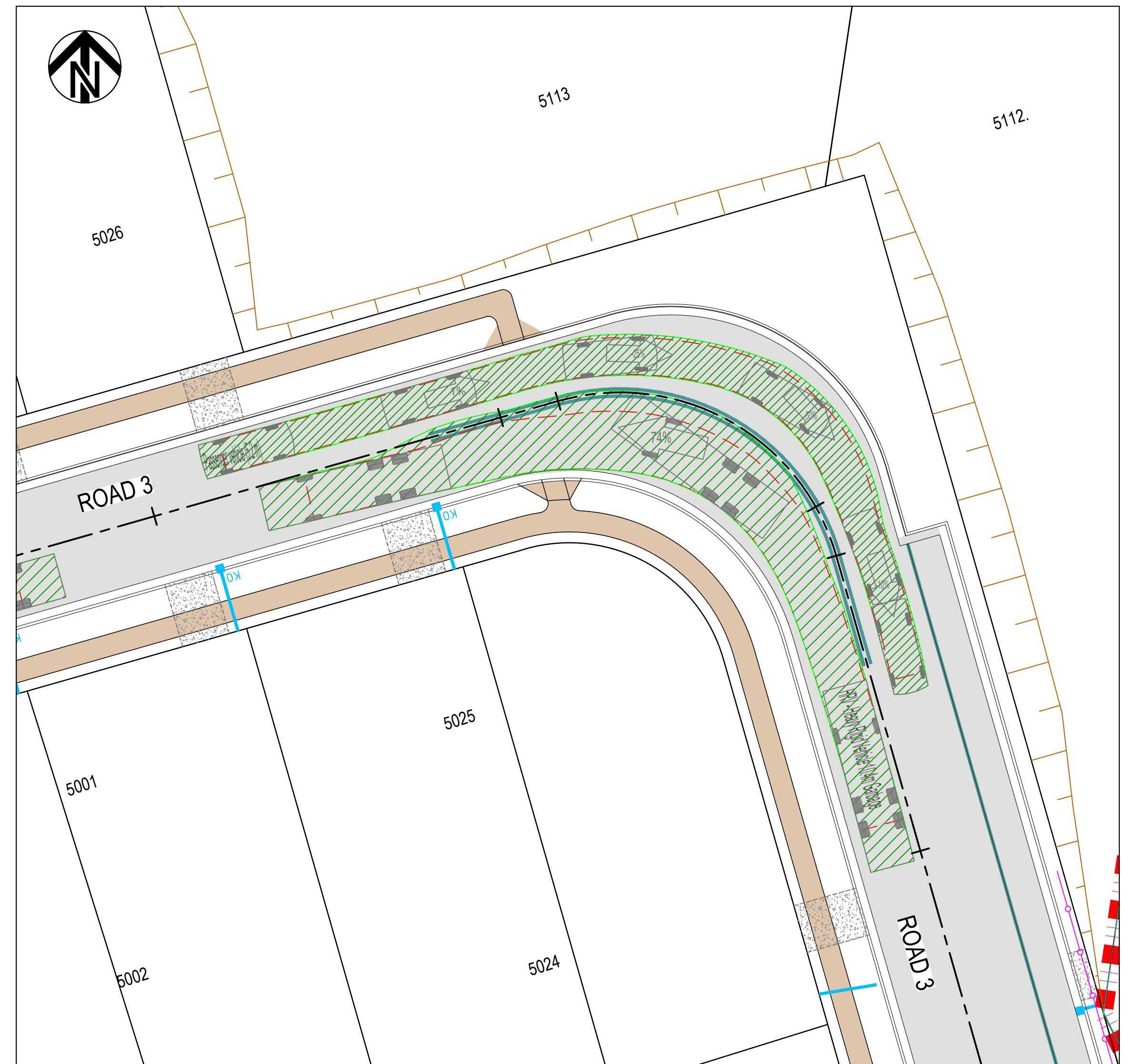


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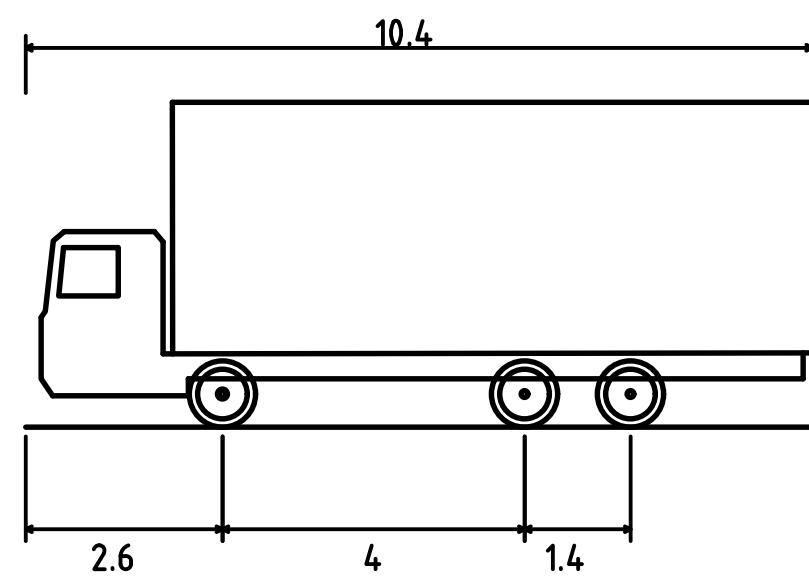
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	02	04/12/2024	ISSUED FOR APPROVAL	002	G.F.	DRAFTING CHECK	M. JAMIL
						DESIGNER	A. ESTEPHEN
						DESIGN CHECK	M. PATEL
						PROJECT MANAGER	A. ESTEPHEN
						PROJECT DIRECTOR	G. FLEMING
				SCALES AT A1 SIZE DRAWING SCALE 1:200			
				DESIGNER SMC Member of the Surbana Jurong Group © ABN 47 065 475 149 LEVEL 6, 3 HORWOOD PLACE PARRAMATTA NSW. 2150 PH +61 2 9900 7100 SMC PROJECT No. 300178185.5			
				CLIENT NSW Land & Housing Corporation			
				PROJECT TITLE CAMPBELLTOWN CITY COUNCIL AIRDS STAGE 5 - REDEVELOPMENT TURNING PATHS PLAN SHEET 1			
SCALE AS NOTED		PHASE PRELIMINARY		PROJECT / DRAWING No. 300178185.5.DA811		REVISION 02	



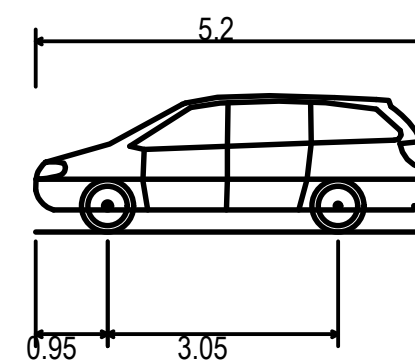
TURNING PATH PLAN - 10.4m GARBAGE VEHICLE &
B85 PASSENGER VEHICLE
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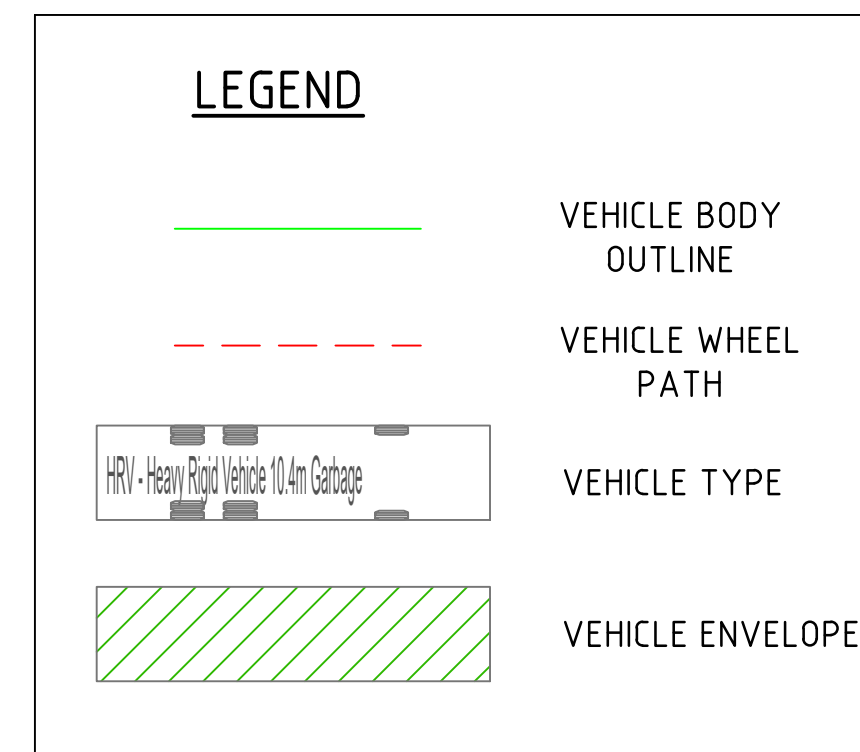
TURNING PATH PLAN - 10.4m GARBAGE VEHICLE &
B85 PASSENGER VEHICLE
SCALE 1:200



HRV - Heavy Rigid Vehicle 10.4m Garbage
Overall Length 10.400m
Overall Width 2.500m
Overall Body Height 4.300m
Min Body Ground Clearance 0.417m
Track Width 2.500m
Lock-to-lock time 6.00s
Curb to Curb Turning Radius 12.500m



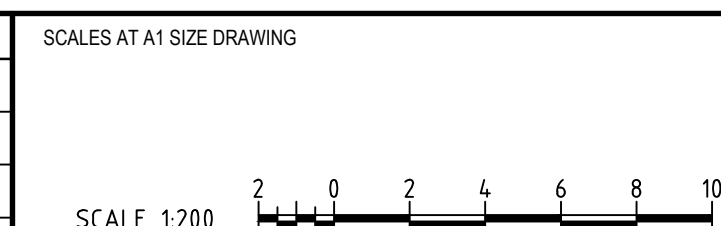
Passenger vehicle (5.2 m)
Overall Length 5.200m
Overall Width 1.940m
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Min Body Ground Clearance 0.295m
Track Width 1.840m
Lock-to-lock time 4.00s
Curb to Curb Turning Radius 6.300m



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APPROVAL	TITLE	NAME
G.F.	DRAFTER	M. JAMIL
G.F.	DRAFTING CHECK	M. JAMIL
	DESIGNER	A. ESTEPHEN
	DESIGN CHECK	M. PATEL
	PROJECT MANAGER	A. ESTEPHEN
	PROJECT DIRECTOR	G. FLEMING



DESIGNER

SMCE

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LEVEL 6, 3 HORWOOD PLACE
PARRAMATTA NSW. 2150
PH +61 2 9900 7100

SMCE PROJECT No. 300178185.5

CLIENT

NSW GOVERNMENT

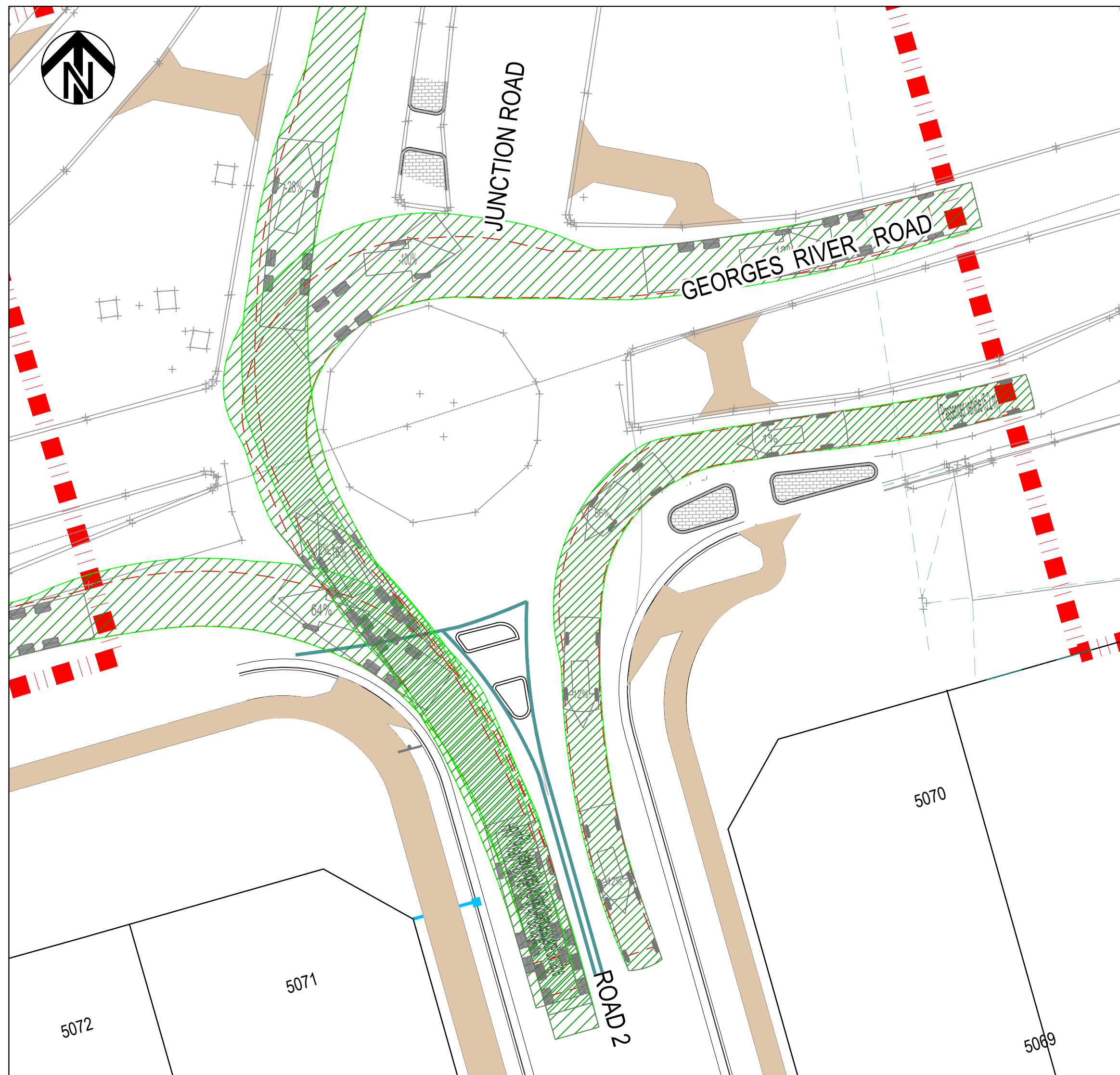
Land & Housing Corporation

PROJECT TITLE

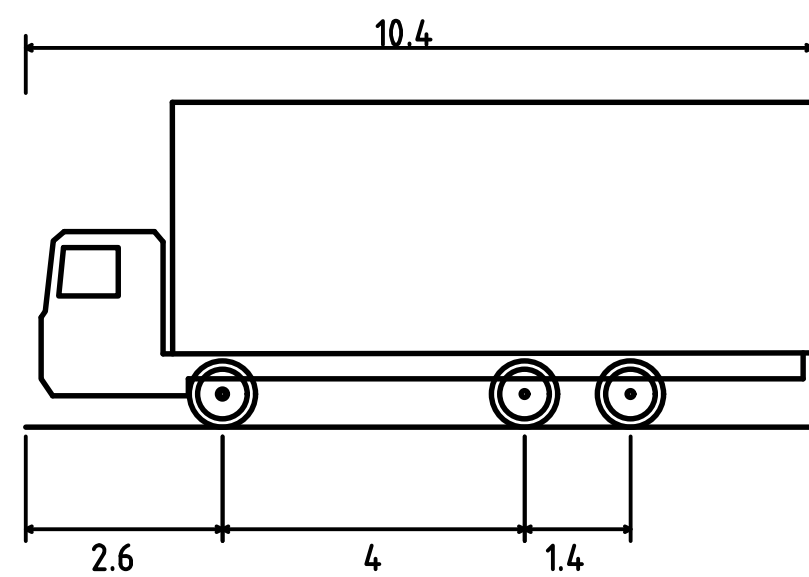
CAMPBELLTOWN CITY COUNCIL
AIRDS STAGE 5 - REDEVELOPMENT

TURNING PATHS
PLAN
SHEET 2

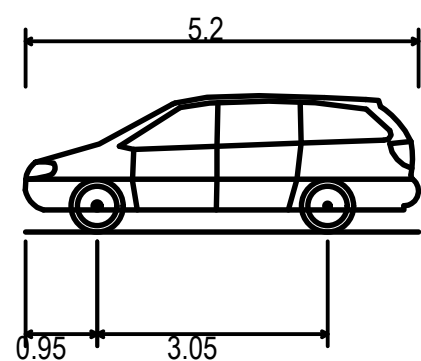
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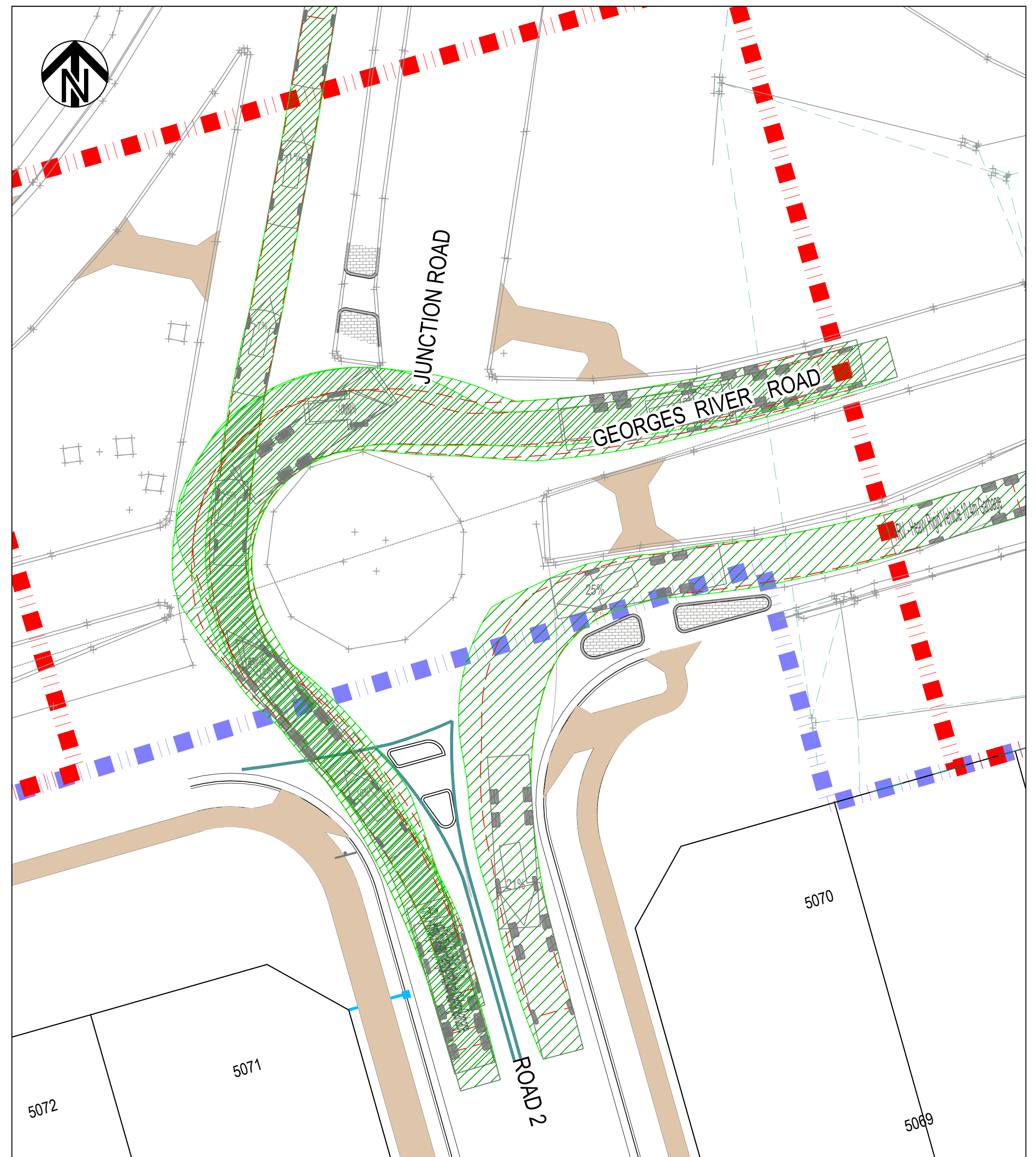
TURNING PATH PLAN - 10.4m GARBAGE VEHICLE &
B85 PASSENGER VEHICLE
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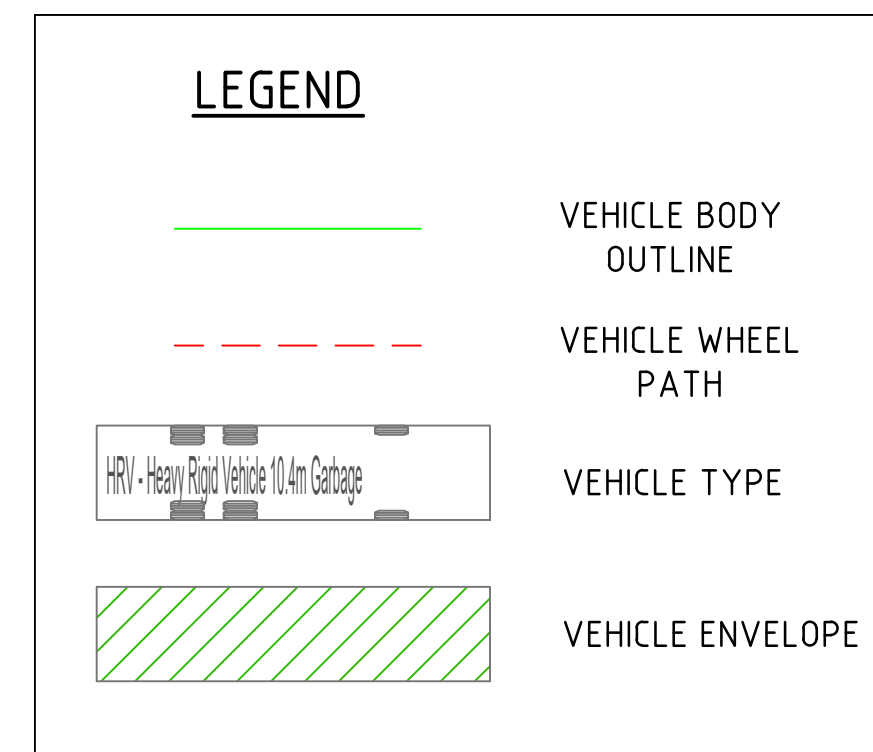
HRV - Heavy Rigid Vehicle 10.4m Garbage
Overall Length 10.400m
Overall Width 2.500m
Overall Body Height 4.300m
Min Body Ground Clearance 0.417m
Track Width 2.500m
Lock-to-lock time 6.00s
Curb to Curb Turning Radius 12.500m





Passenger vehicle (5.2 m)
Overall Length 5.200m
Overall Width 1.940m
Overall Body Height 1.804m
Min Body Ground Clearance 0.295m
Track Width 1.840m
Lock-to-lock time 4.00s
Curb to Curb Turning Radius 6.300m

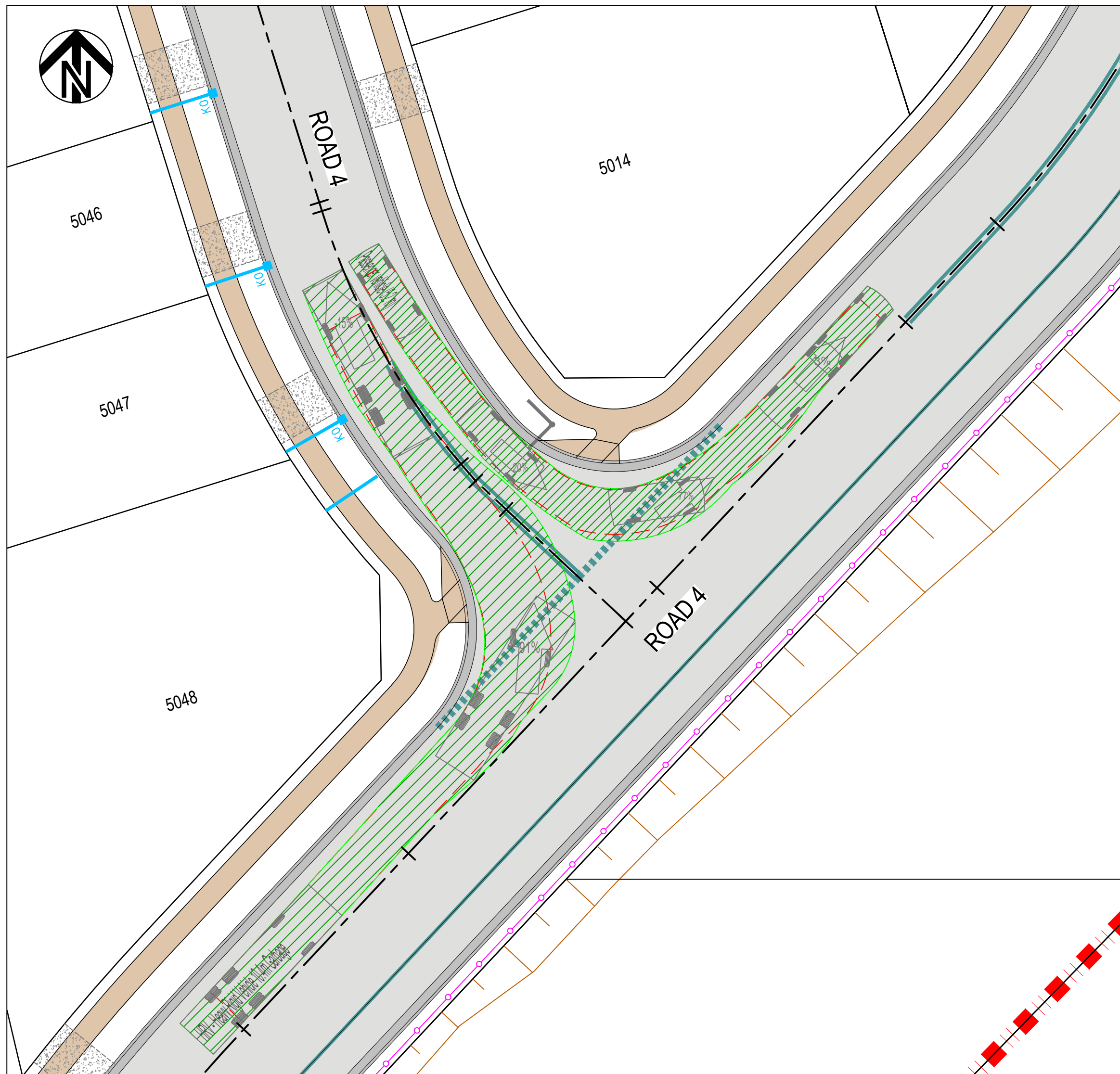


TURNING PATH PLAN - 10.4m GARBAGE VEHICLE &
B85 PASSENGER VEHICLE
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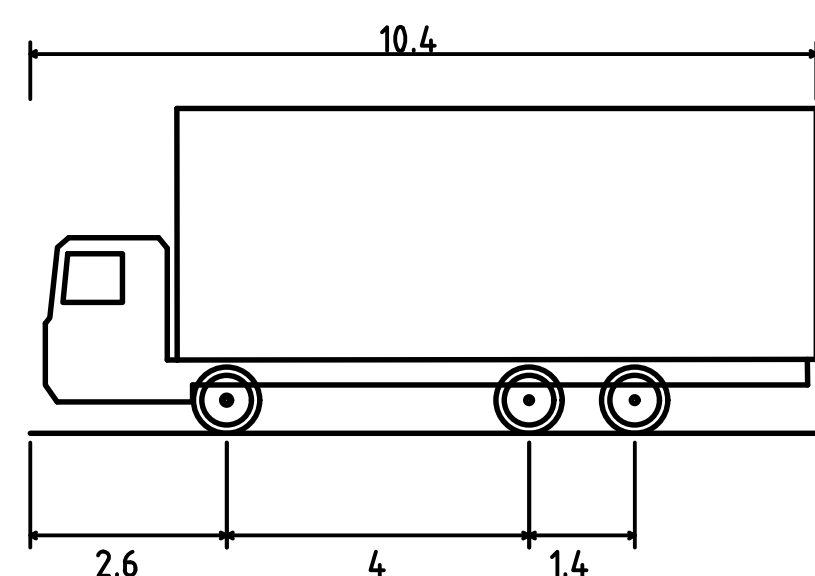


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						DESIGNER	A. ESTEPHEN
						DESIGN CHECK	M. PATEL
						PROJECT MANAGER	A. ESTEPHEN
						PROJECT DIRECTOR	G. FLEMING
SCALES AT A1 SIZE DRAWING				DESIGNER			
SCALE 1:200				 Member of the Surbana Jurong Group © ABN 47 065 475 149 LEVEL 6, 3 HORWOOD PLACE PARRAMATTA NSW. 2150 PH +61 2 9900 7100 SMC PROJECT No. 300178185.5			
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				 Land & Housing Corporation			
				PROJECT TITLE			
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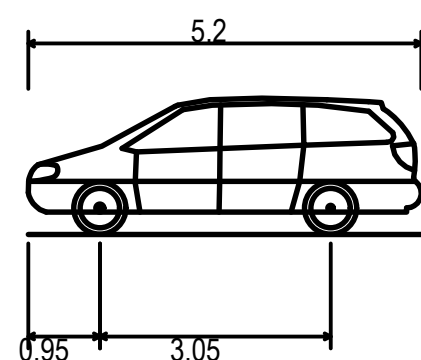


TURNING PATH PLAN - 10.4m GARBAGE VEHICLE & B85 PASSENGER VEHICLE
SCALE 1:200



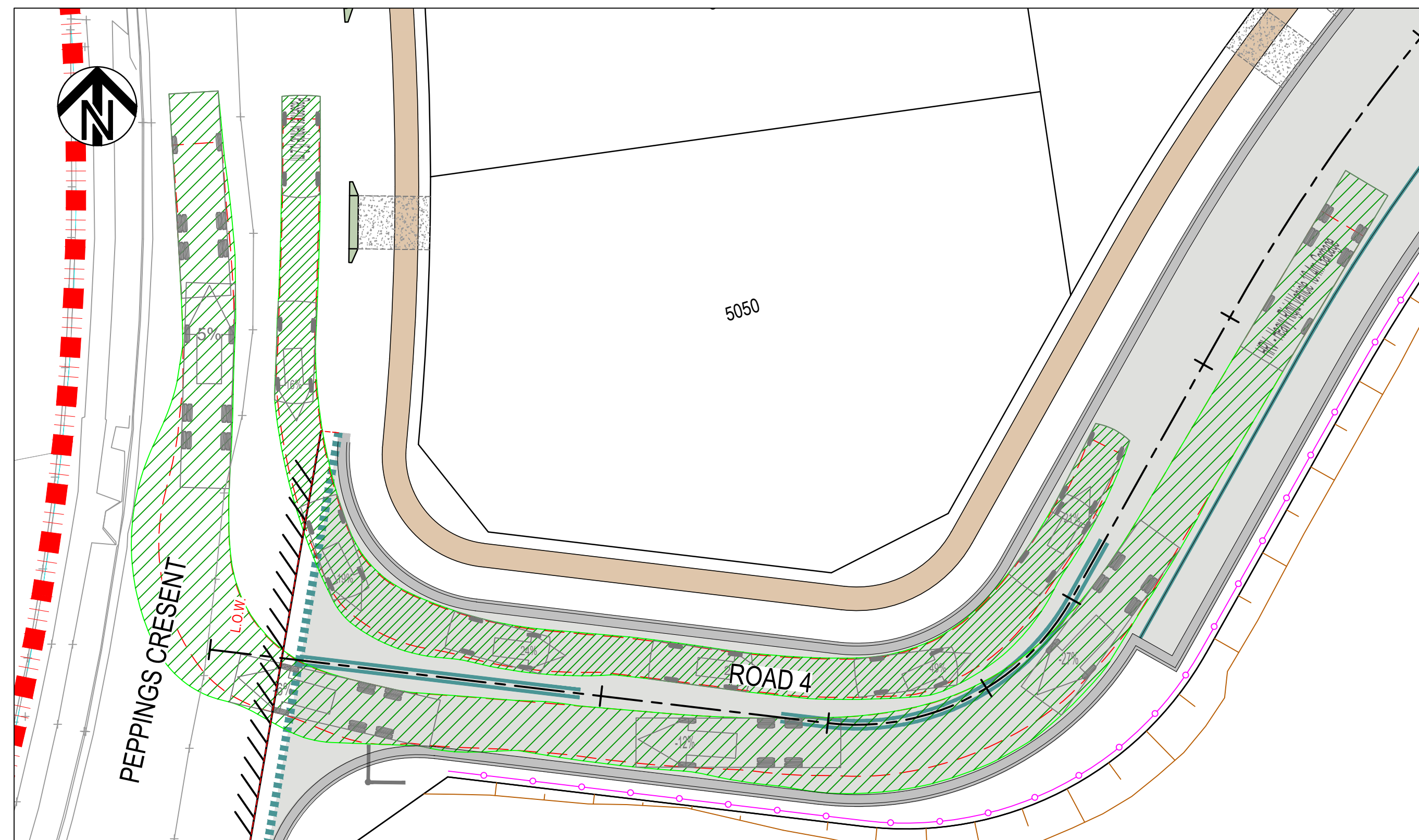
HRV - Heavy Rigid Vehicle 10.4m Garbage

Overall Length	10.400m
Overall Width	2.500m
Overall Body Height	4.300m
Min Body Ground Clearance	0.417m
Track Width	2.500m
Lock-to-lock time	6.00s
Curb to Curb Turning Radius	12.500m

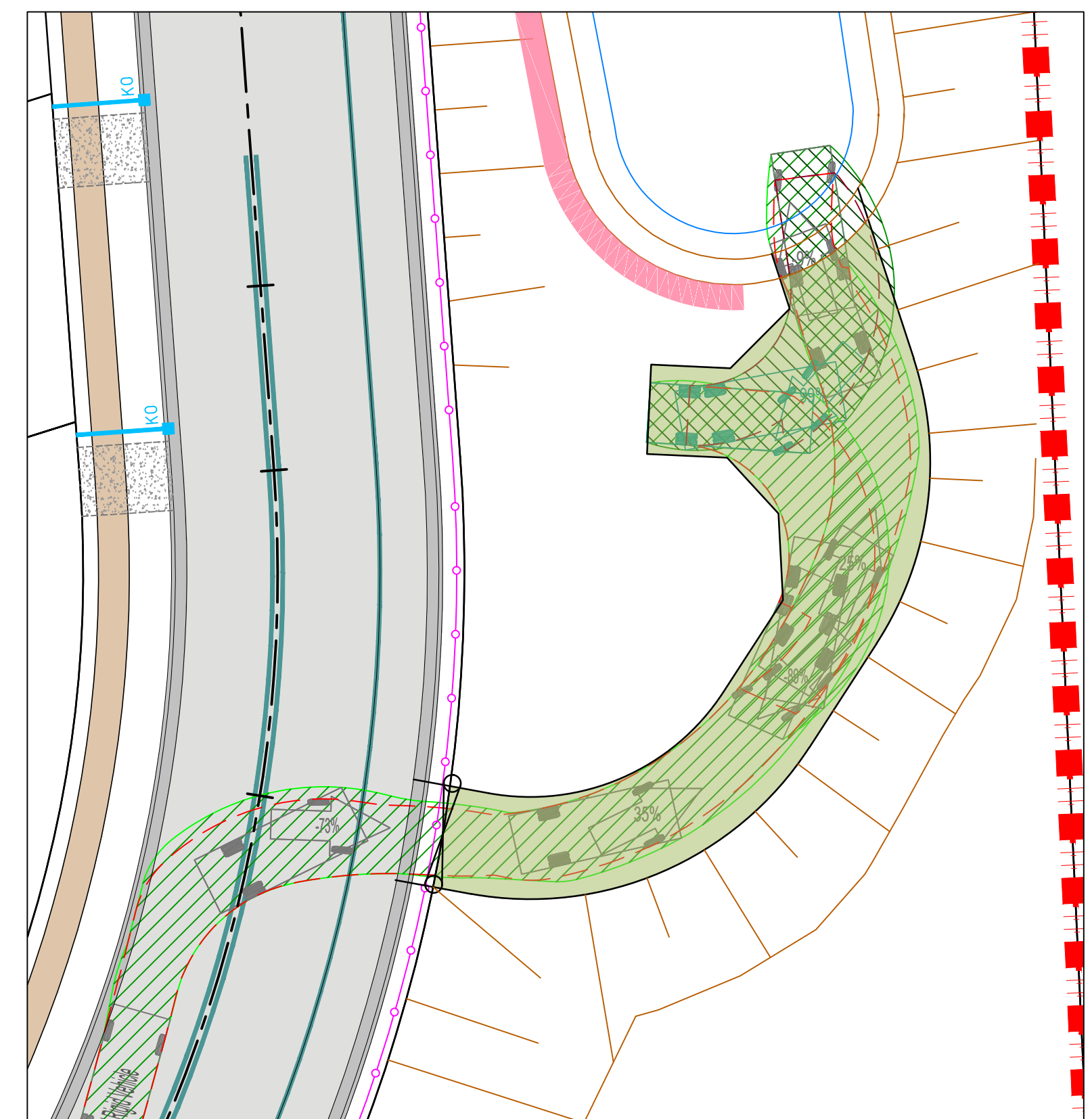
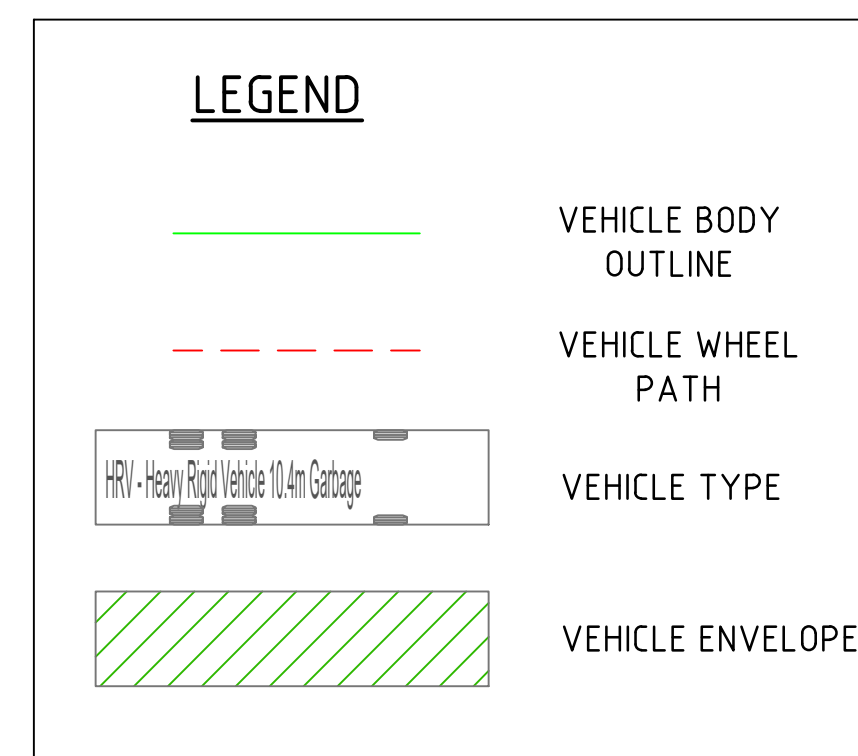


Passenger vehicle (5.2 m)

Overall Length	5.200m
Overall Width	1.940m
Overall Body Height	1.804m
Min Body Ground Clearance	0.295m
Track Width	1.840m
Lock-to-lock time	4.00s
Curb to Curb Turning Radius	6.300m



TURNING PATH PLAN - 10.4m GARBAGE VEHICLE & B85 PASSENGER VEHICLE
SCALE 1:200



TURNING PATH PLAN - 6.4m SMR BASIN ACCESS AND TURN AROUND
SCALE 1:200

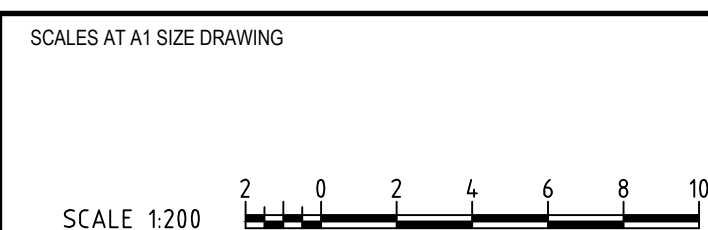
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002	G.F.	DRAFTING CHECK	M. JAMIL
		DESIGNER	A. ESTEPHEN
		DESIGN CHECK	M. PATEL
		PROJECT MANAGER	A. ESTEPHEN
		PROJECT DIRECTOR	G. FLEMING



DESIGNER

SMC

Member of the Surbana Jurong Group

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PARRAMATTA NSW, 2150

PH +61 2 9900 7100

SMC PROJECT No. 300178185.5

CLIENT

NSW GOVERNMENT

Land & Housing Corporation

PROJECT TITLE

CAMPBELLTOWN CITY COUNCIL

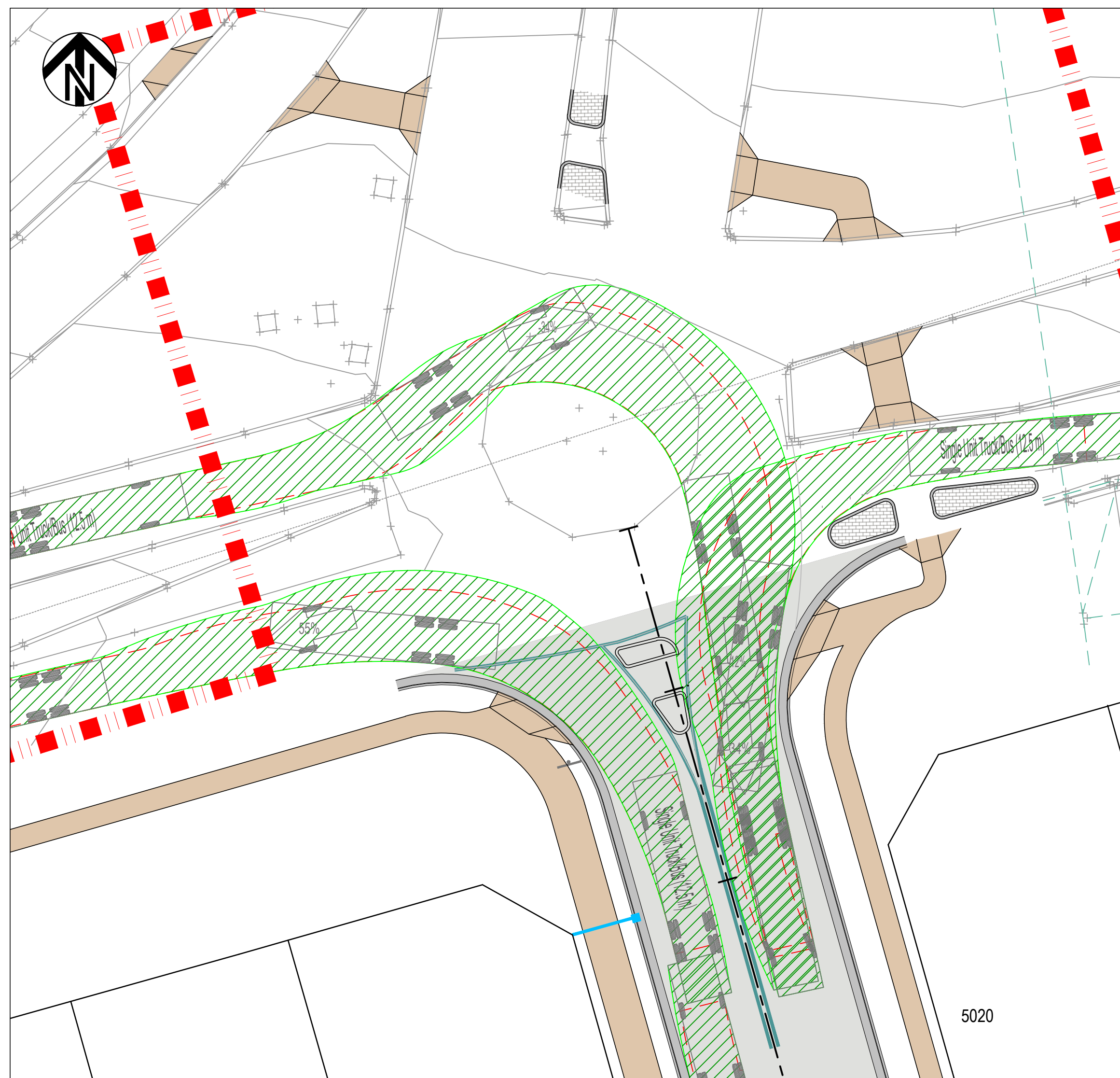
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TURNING PATHS

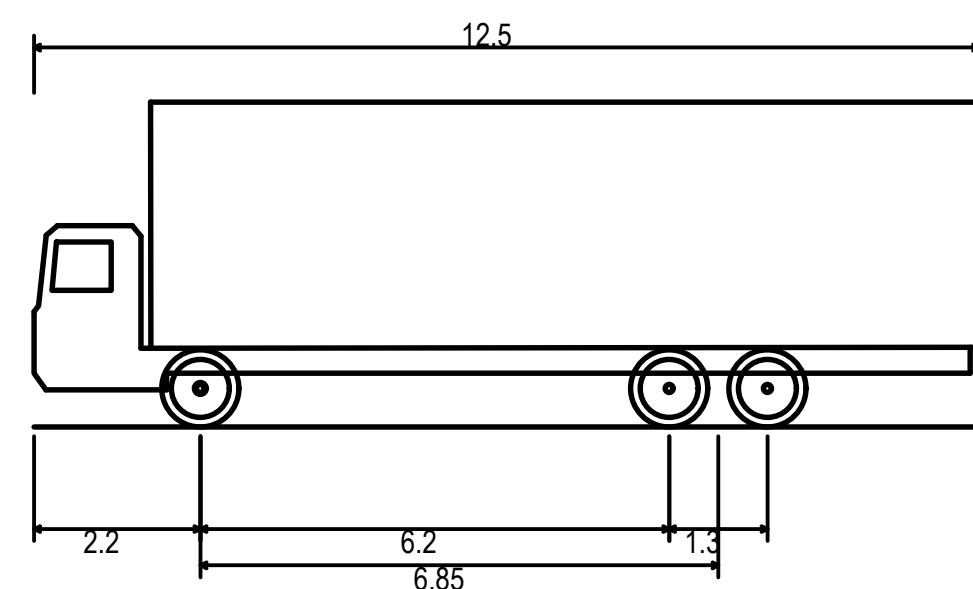
PLAN

SHEET 4

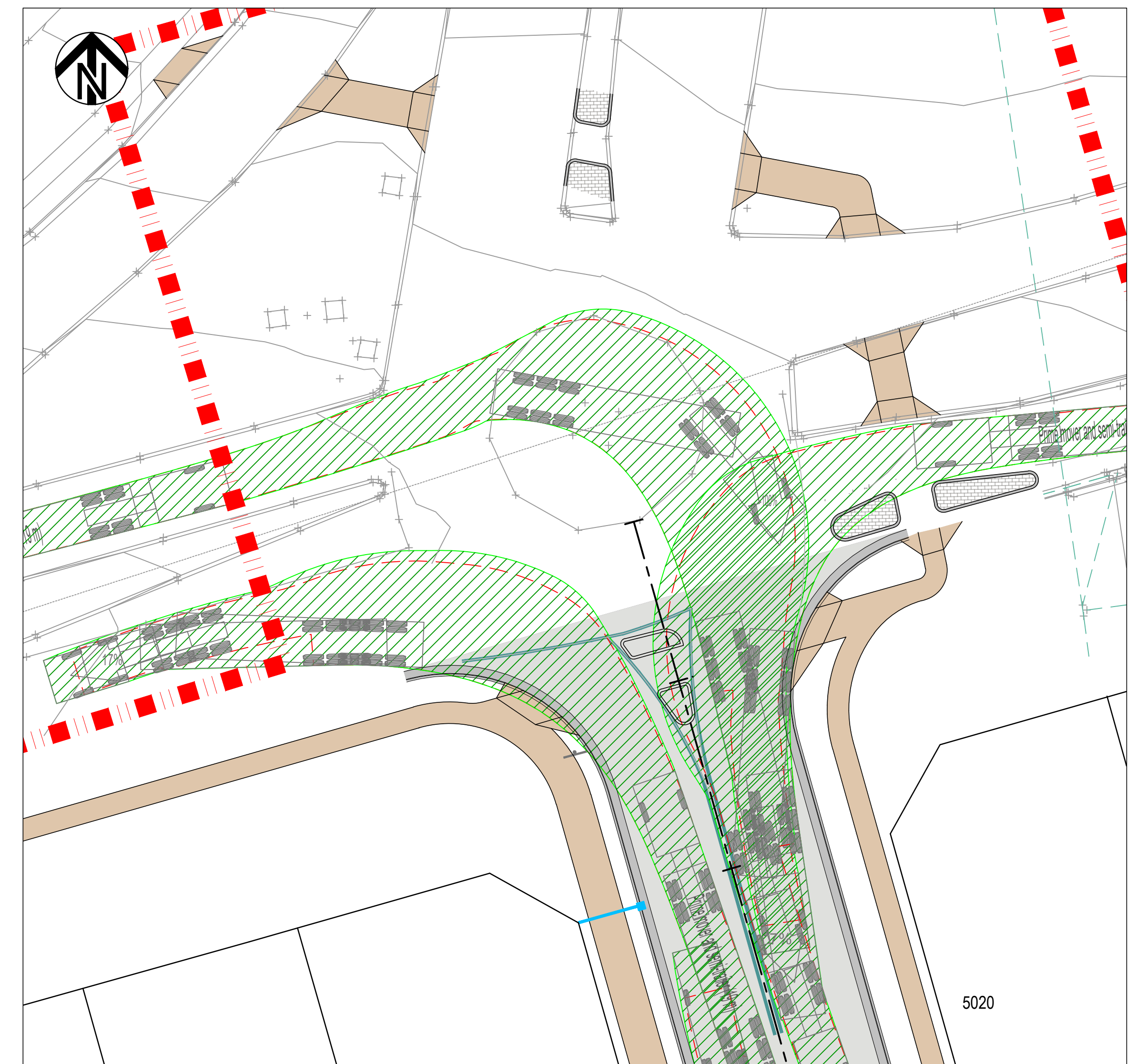
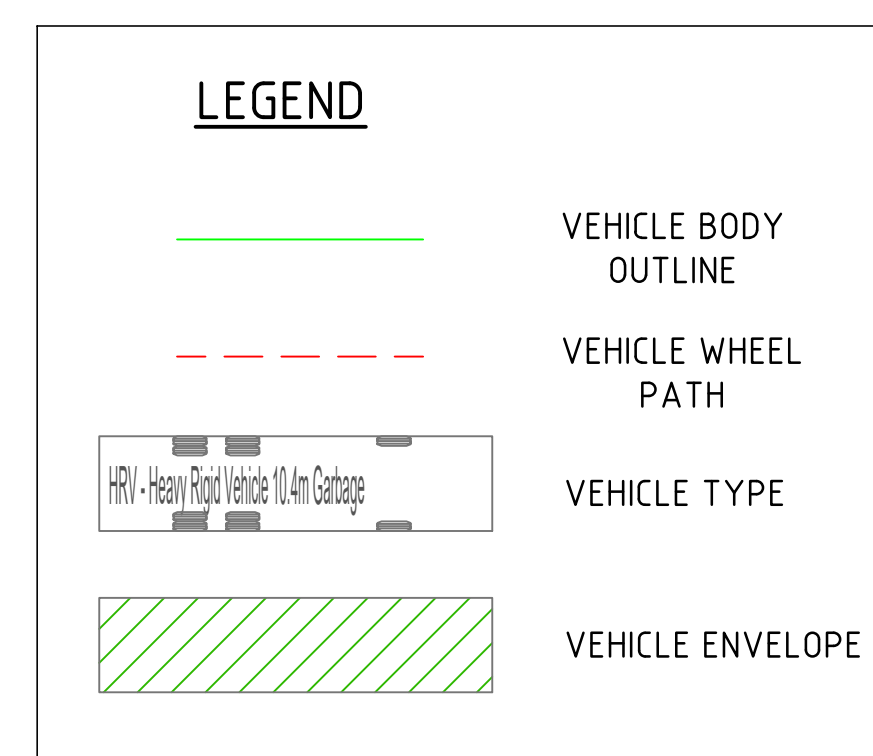
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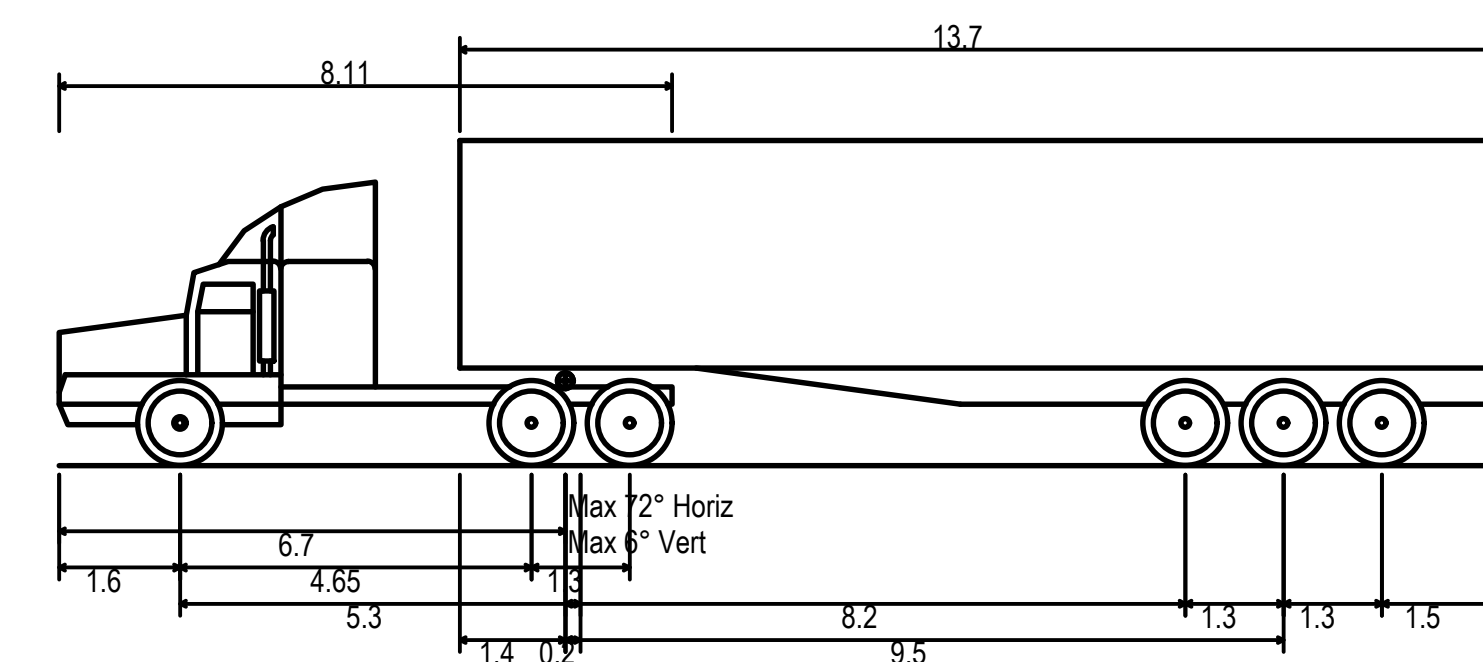
DESIGN TURNING PATH PLAN - 12.5m SINGLE UNIT
TRUCK/BUS
SCALE 1:200



Single Unit Truck/Bus (12.5 m)	
Overall Length	12.500m
Overall Width	2.500m
Overall Body Height	4.300m
Min Body Ground Clearance	0.490m
Track Width	2.500m
Lock-to-lock time	6.00s
Curb to Curb Turning Radius	12.500m



CHECK TURNING PATH PLAN - 19m PRIME MOVER
AND SEMI-TRAILER
SCALE 1:200



Prime mover and semi-trailer (19 m)	
Overall Length	19.000m
Overall Width	2.500m
Overall Body Height	4.300m
Min Body Ground Clearance	0.540m
Track Width	2.500m
Lock-to-lock time	6.00s
Curb to Curb Turning Radius	12.500m

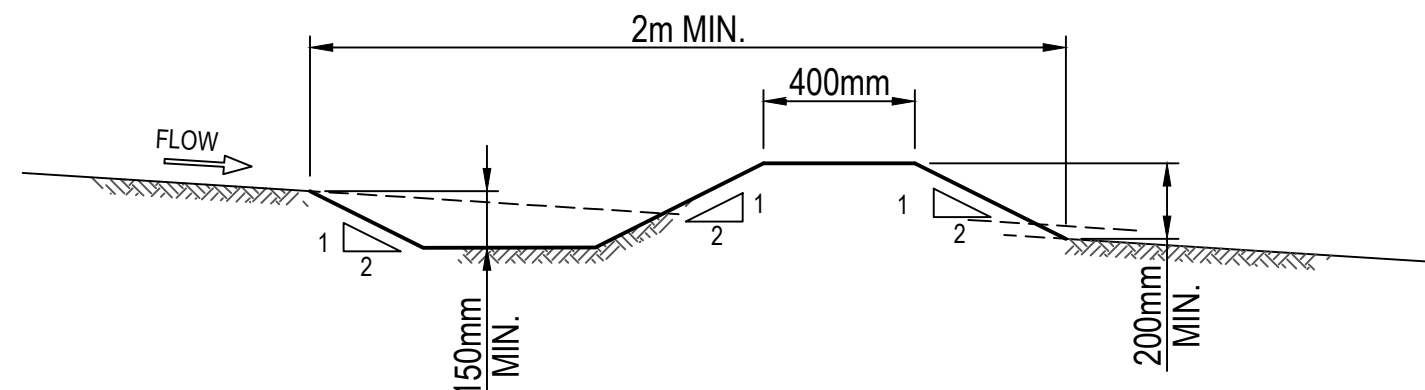
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							DESIGNER	A. ESTEPHEN	
							DESIGN CHECK	M. PATEL	
							PROJECT MANAGER	A. ESTEPHEN	
							PROJECT DIRECTOR	G. FLEMING	
SCALES AT A1 SIZE DRAWING				DESIGNER		CLIENT		PROJECT TITLE	
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SCALE AS NOTED		PHASE PRELIMINARY		PROJECT / DRAWING No. 300178185.5.DA815		REVISION 01			



- NOTE:

-  **BEFORE
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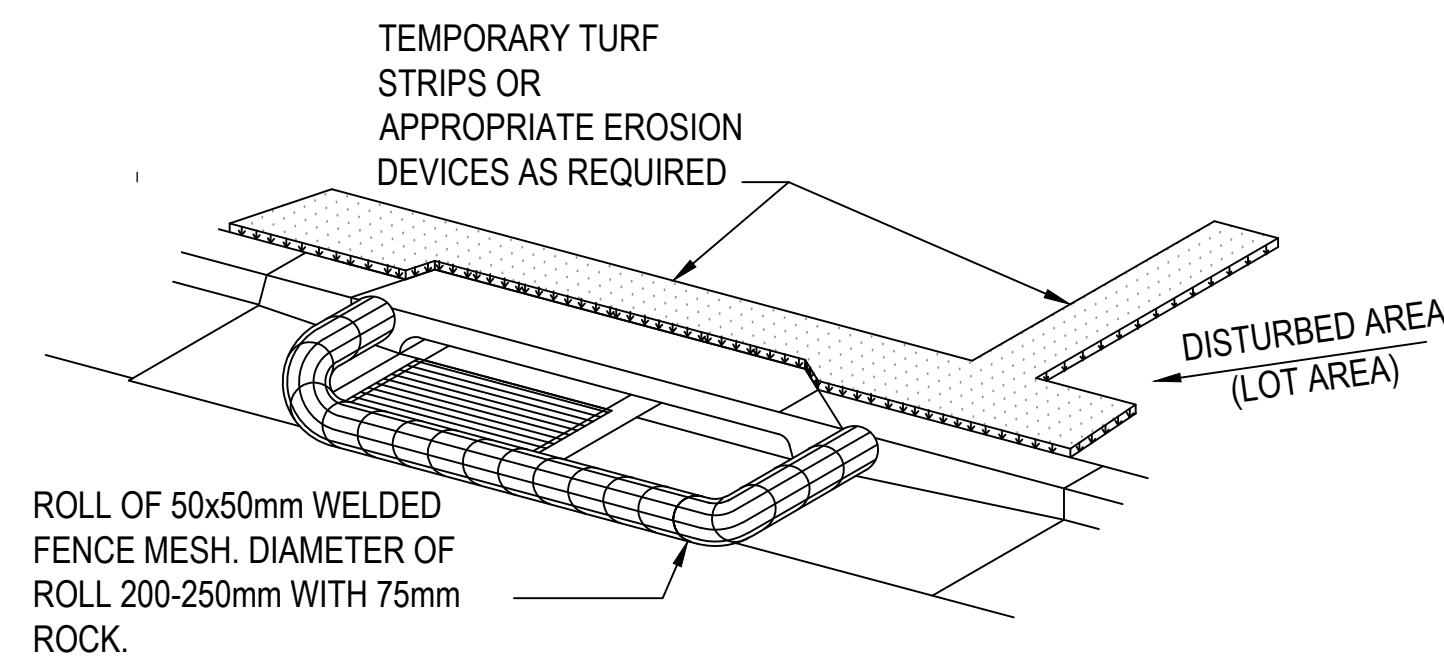
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EARTH BANK (LOW FLOW)
SCALE N.T.S

CONSTRUCTION NOTES:

- BUILD WITH GRADIENTS BETWEEN 1% - 5%.
- AVOID REMOVING TREES AND SHRUBS IF POSSIBLE - WORK AROUND THEM.
- ENSURE THE STRUCTURES ARE FREE OF PROJECTIONS OR OTHER IRREGULARITIES THAT COULD IMPEDE WATER FLOW.
- BUILD THE DRAINS WITH CIRCULAR, PARABOLOIC OR TRAPEZOIDAL CROSS SECTIONS, NOT V-SHAPED.
- ENSURE THE BANKS ARE PROPERLY COMPACTED TO PREVENT FAILURE.
- COMPLETE PERMANENT OR TEMPORARY STABILISATION WITHIN 10 DAYS OF CONSTRUCTION.



PLAN OF KERB INLET SEDIMENT TRAP
SCALE N.T.S

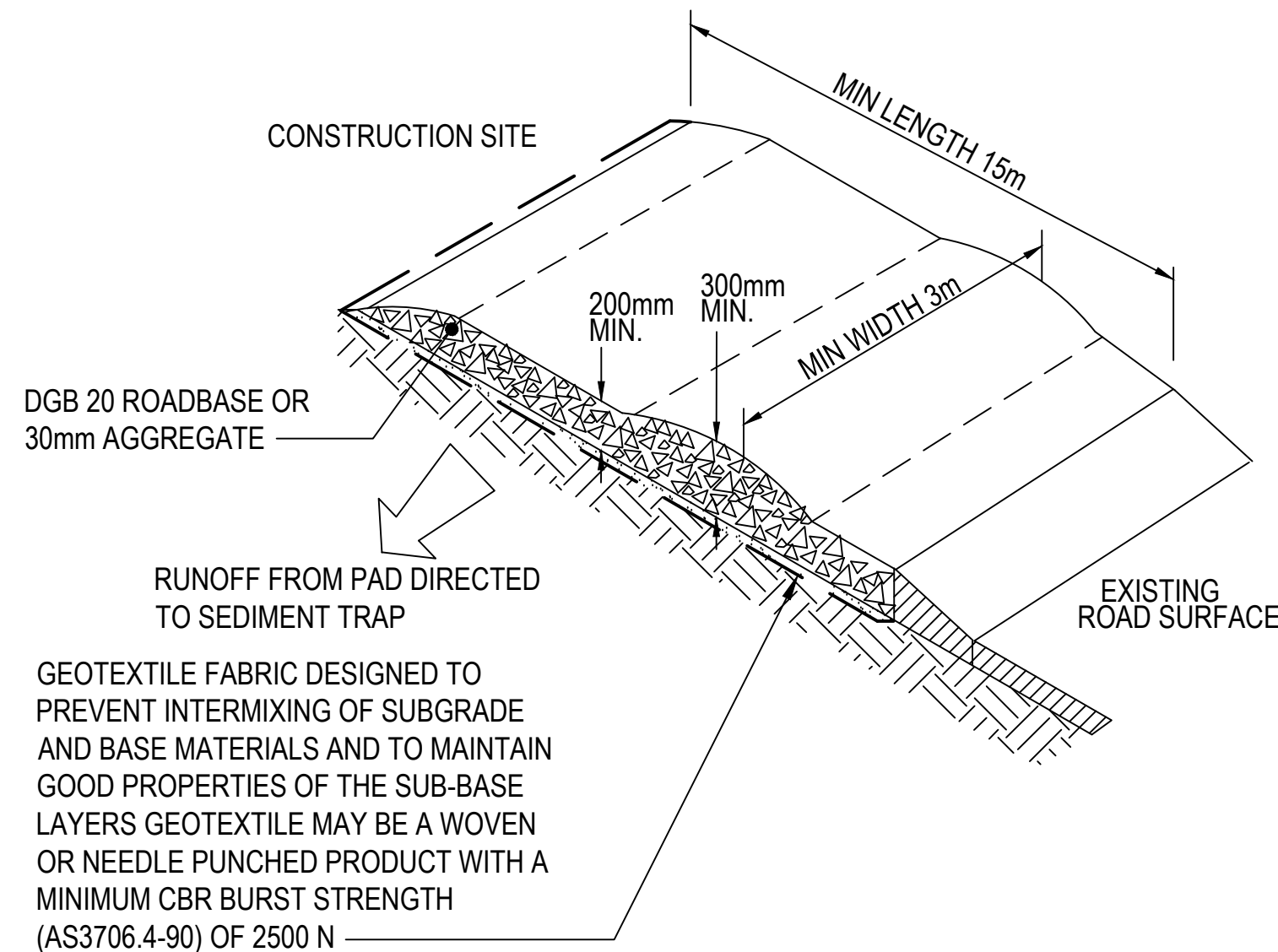
SEDIMENT & EROSION CONTROL

GENERAL NOTES:

- THE CONTRACTOR SHALL IMPLEMENT ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO DISTURBANCE OF THE RELATED CATCHMENT AREA AND TO THE STANDARDS OF THE N.S.W DEPARTMENT OF HOUSING MANAGING URBAN STORMWATER 'SOILS AND CONSTRUCTION 4TH EDITION MARCH 2004.
- TOPSOIL SHALL BE STRIPPED AND STOCKPILED OUTSIDE HAZARD AREAS AS SHOWN ON PLANS. THIS TOPSOIL IS TO BE RESPREAD LATER ON AREAS TO BE REVEGETATED AND STABILISED ONLY. (I.E. ALL FOOTPATHS, TOPSOIL SHALL NOT BE RESPREAD ON ANY OTHER AREAS UNLESS BATTERS) SPECIFICALLY INSTRUCTED BY THE SUPERINTENDENT. IF STOCKPILES ARE TO REMAIN FOR LONGER THAN 14 DAYS STOCKPILES SHALL BE PROTECTED FROM EROSION BY COVERING THEM WITH A MULCH AND HYDROSEEDING AND, IF NECESSARY, BY LOCATING BANKS OR DRAINS UPSLOPE TO DIVERT THE RUNOFF AROUND THEM. IN SOME CIRCUMSTANCES IT MAY BE NECESSARY TO PLACE BANKS OR DRAINS DOWNSTREAM OF A STOCKPILE TO RETARD SEDIMENT LADEN RUNOFF.
- THE CONTRACTOR SHALL REGULARLY MAINTAIN ALL SEDIMENT AND EROSION CONTROL DEVICES AND REMOVE ACCUMULATED SILT FROM SUCH DEVICES BEFORE NO MORE THAN 60% OF THEIR CAPACITY IS LOST. ALL THE SILT REMOVED SHALL BE DISPOSED OF AS DIRECTED BY THE SUPERINTENDENT. NO SILT IS TO BE PLACED OUTSIDE THE LIMIT OF WORKS. THE PERIOD FOR MAINTAINING THESE DEVICES SHALL BE AT LEAST UNTIL ALL DISTURBED AREAS ARE REVEGETATED AND FURTHER AS MAY BE DIRECTED BY THE SUPERINTENDENT OR COUNCIL.
- THE CONTRACTOR SHALL PROVIDE SAND BAGS OR SEDIMENT TRAPS AT 20m CTS ACROSS EACH ROAD GUTTER AS AT COMPLETION OF FOOTPATH FORMATION TO AVOID SEDIMENT LOSS FROM THE ROAD & FOOTPATH AREAS.
- VEHICULAR TRAFFIC SHALL BE CONTROLLED DURING CONSTRUCTION CONFINING ACCESS WHERE POSSIBLE TO PROPOSED OR EXISTING ROAD ALIGNMENTS.
- WHEN ANY DEVICES ARE TO BE HANDED OVER TO ROAD & DRAINAGE CONTRACTORS THEY SHALL BE IN A CLEAN AND STABLE CONDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL REVEGETATED AREAS, INCLUDING WATERING UNTIL FINAL COMPLETION OF WORKS.
- THE CONTRACTOR SHALL MAINTAIN DUST CONTROL UNTIL FINAL COMPLETION OF WORKS.
- THE CONTRACTOR MUST COMMENCE REHABILITATION WITHIN A REASONABLE TIME OF ANY SITE REGRADING AND BATTER FORMATION.

WASTE CONTROL:

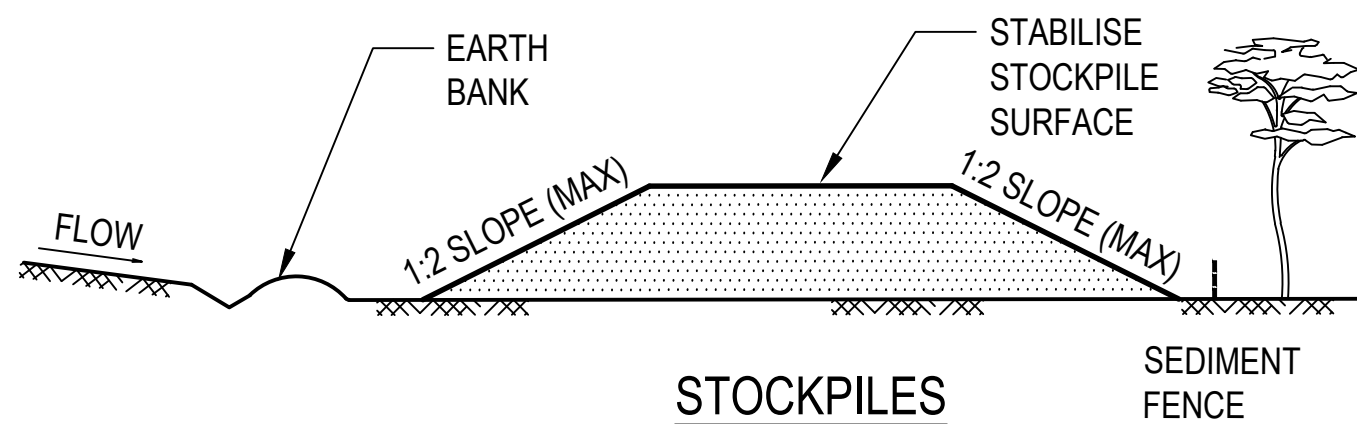
- THE CONTRACTOR TO BE RESPONSIBLE FOR WASTE DISPOSAL ON SITE.
- ALL BUILDING PRODUCTS & CLEARED VEGETATION TO BE REMOVED OFF SITE IN AN APPROVED MANNER TO LICENSED LAND FILL SITE.
- EQUIPMENT MAINTENANCE & REFUELLING OF CONSTRUCTION VEHICLES TO BE DONE IN A DESIGNATED AREA USING BUNDING AND BEST PRACTICE MANAGEMENT CONTROLS FOR REFUELLING.
- ALL SPILLS TO BE CLEARED UP IMMEDIATELY.



STABILISED SITE ACCESS
N.T.S.

CONSTRUCTION NOTES:

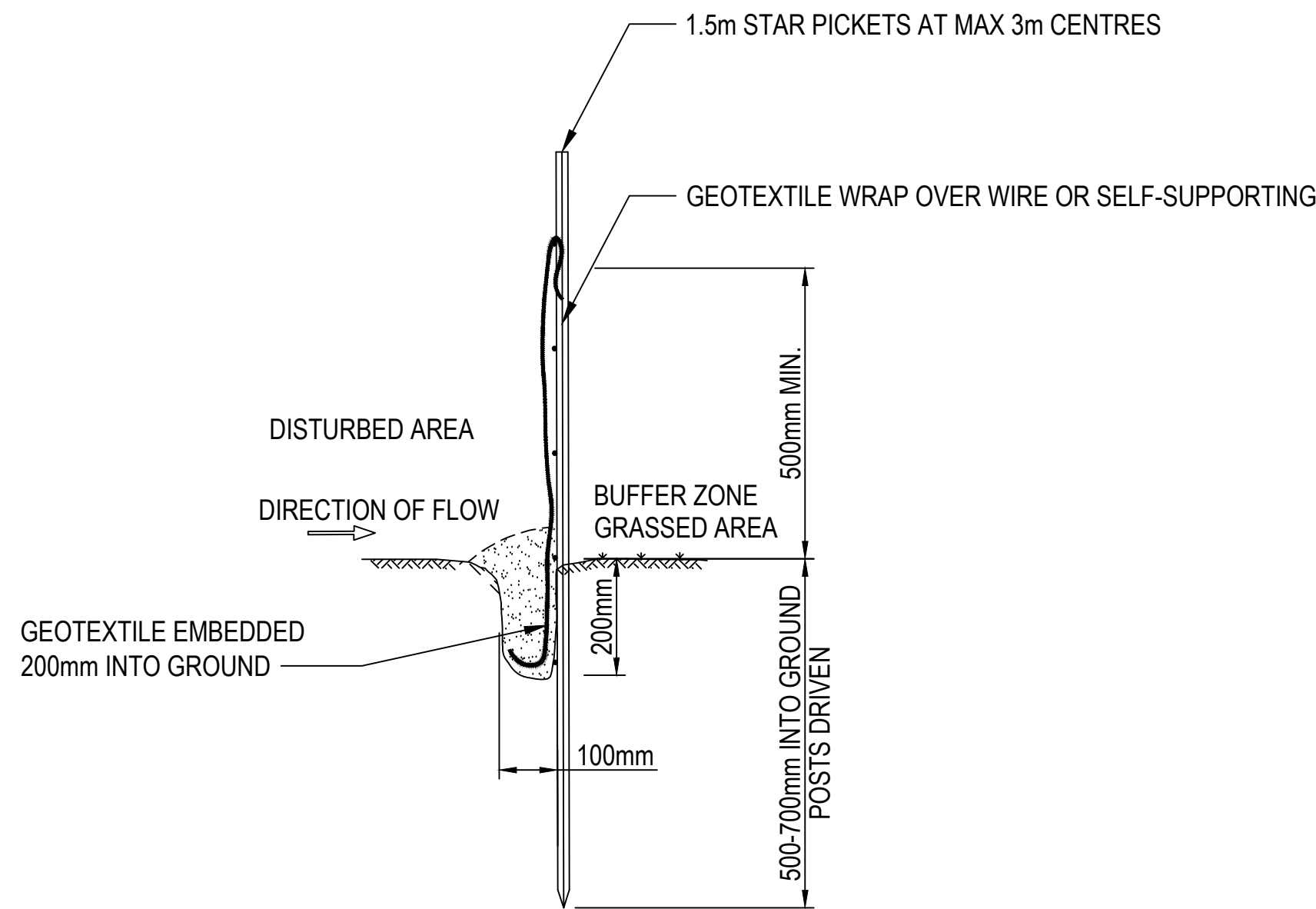
- STRIP THE TOPSOIL, LEVEL THE SITE AND COMPACT THE SUBGRADE.
- COVER THE AREA WITH NEEDLE-PUNCHED GEOTEXTILE.
- CONSTRUCT A 200mm THICK PAD OVER THE GEOTEXTILE USING ROAD BASE OR 30mm AGGREGATE.
- ENSURE THE STRUCTURE IS AT LEAST 15 METRES LONG OR TO BUILDING ALIGNMENT AND AT LEAST 3 METRES WIDE.
- WHERE A SEDIMENT FENCE JOINS ONTO THE STABILISED ACCESS, CONSTRUCT A HUMP IN THE STABILISED ACCESS TO DIVERT WATER TO THE SEDIMENT FENCE.



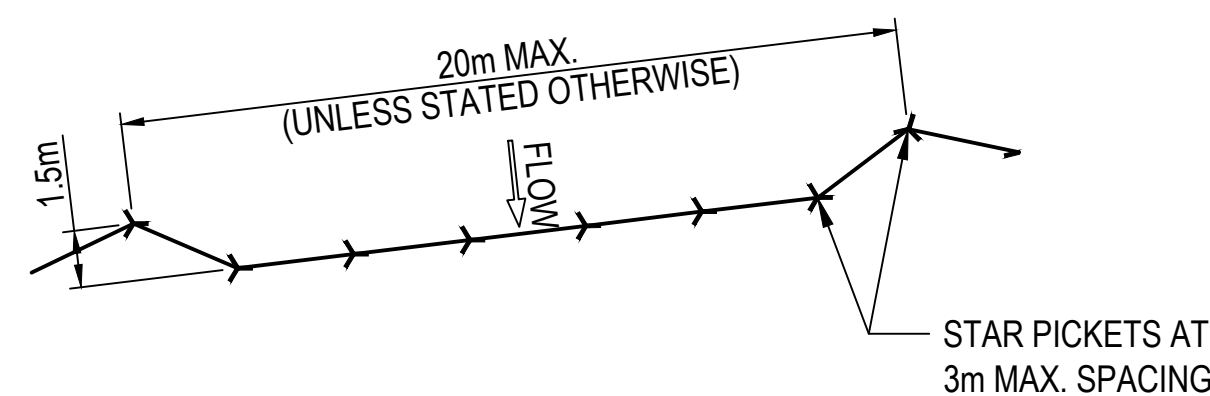
STOCKPILES
SCALE N.T.S

CONSTRUCTION NOTES:

- PLACE STOCKPILES MORE THEN 2 (PREFERABLY 5) METRES FROM EXISTING VEGETATION, CONCENTRATED WATER FLOW, ROADS AND HAZARD AREAS.
- CONSTRUCT ON THE CONTOUR AS LOW, FLAT, ELONGATED MOUNDS.
- WHERE THERE IS SUFFICIENT AREA, TOPSOIL STOCKPILES SHALL BE LESS THAN 2 METRES IN HEIGHT.
- WHERE THEY ARE ABLE TO BE IN PLACE FOR MORE THAN 10 DAYS, STABILISE FOLLOWING THE APPROVED ESCP OR SWMP TO REDUCE THE C-FACTOR TO LESS THAN 0.10.
- CONSTRUCT EARTHBANKS ON THE UPSLOPE SIDE TO DIVERT WATER AROUND STOCKPILES ANS SEDIMENT FENCES 1 TO 2 METRES DOWNSLOPE.



SEDIMENT FENCE
SCALE N.T.S



CONSTRUCTION NOTES:

- CONSTRUCT SEDIMENT FENCES AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE, BUT WITH SMALL RETURNS AS SHOWN IN THE DRAWING TO LIMIT THE CATCHMENT AREA OF ANY ONE SECTION. THE CATCHMENT AREA SHOULD BE SMALL ENOUGH TO LIMIT WATER FLOW IF CONCENTRATED AT ONE POINT TO 50 LITRES PER SECOND IN THE DESIGN STORM EVENT, USUALLY THE 10 YEAR EVENT.
- CUT A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
- DRIVE 1.5 METRE LONG STAR PICKETS INTO THE GROUND AT 2.5 METRE INTERVALS (MAX) AT THE DOWNSLOPE EDGE OF THE TRENCH. ENSURE ANY STAR PICKETS ARE FITTED WITH SAFETY CAPS.
- FIX SELF-SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE POSTS ENSURING IT GOES TO THE BASE OF THE TRENCH. FIX THE GEOTEXTILE WITH WIRE TIES OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING. THE USE OF SHADE CLOTH FOR THIS PURPOSE IS NOT SATISFACTORY.
- JOIN THE SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150mm OVERLAP.
- BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.



(CONTRACTOR TO CONFIRM FINAL SIGNAGE WITH COUNCIL)
(SIGN TO BE ERECTED AT SITE ENTRY POINTS)
The sign(s) must be constructed of durable materials, at least the size of a standard "For Sale" sign (1200x900). The wording of the sign must be as follows: The warning and fine statement wording must be at least 120mm high and the remainder, at least 60mm high. The warning and fine details must be red bolded capitals and the remaining words in dark coloured lower case letters on a white background, surrounded by a red border.

150 mm ON ORIGINAL
A1
0
10
20
30
40
50
60
70
80
90
100
110
120
130
140
150

DRAWING FILE LOCATION / NAME C:\12d\data\SMCE\SYN\300178185 - Airs 5 and 9_1278\CAD\01_Dwg\02_DAI\Stage 5\300178185.5.DA861.dwg				PLOT DATE 04/12/2024		TIME 2:34:08 pm	
EXTERNAL REFERENCE FILES	REV	DATE	AMENDMENT / REVISION DESCRIPTION	WVR No.	APPROVAL	TITLE	NAME
	01	27/09/2023	ISSUED FOR APPROVAL	001	G.F.	DRAFTER	M. JAMIL
	02	04/12/2024	ISSUED FOR APPROVAL	002	G.F.	DRAFTING CHECK	M. JAMIL
						DESIGNER	A. ESTEPHEN
						DESIGN CHECK	M. PATEL
						PROJECT MANAGER	A. ESTEPHEN
						PROJECT DIRECTOR	G. FLEMING

SCALES AT A1 SIZE DRAWING

DESIGNER

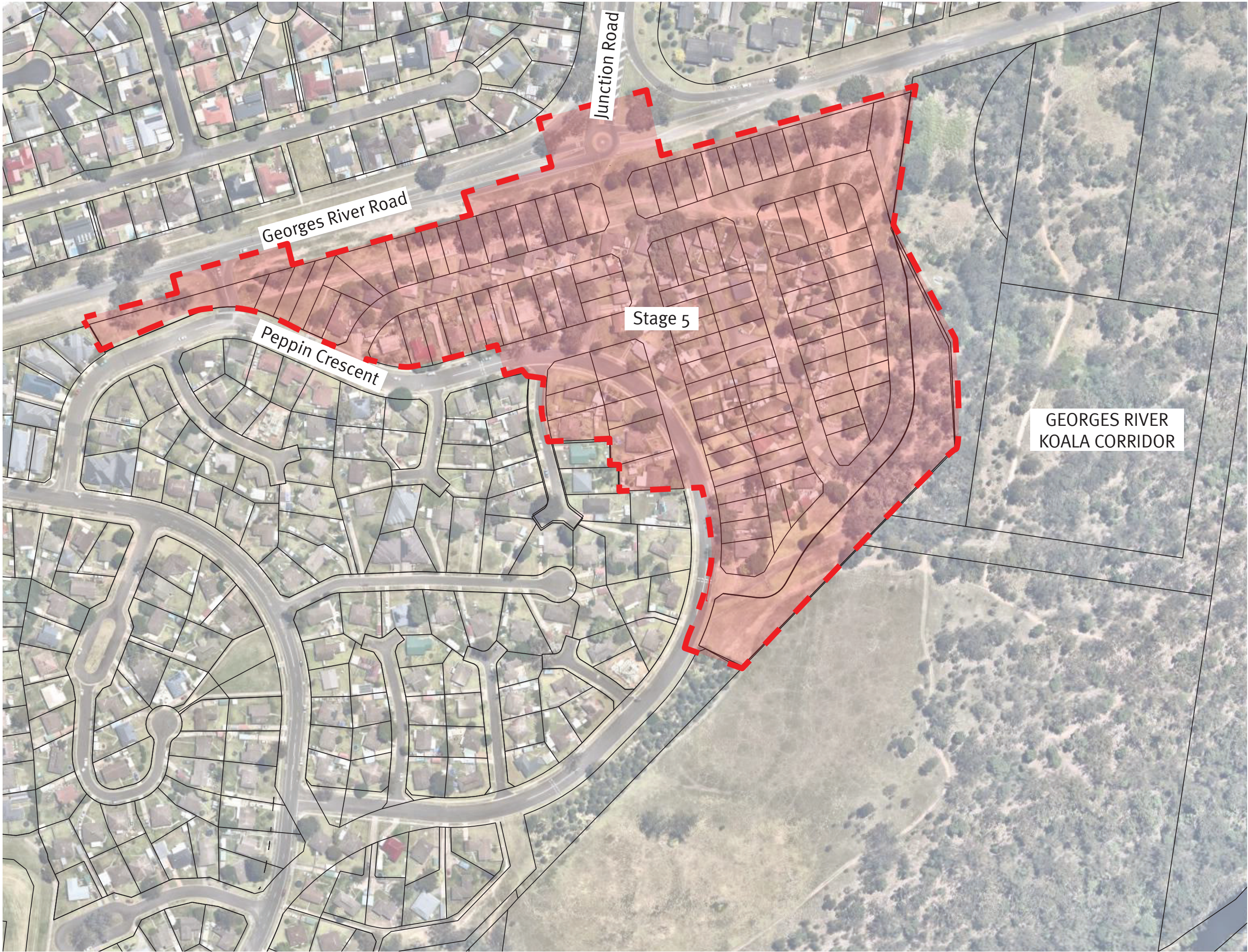
SMC
Member of the Subana Jurong Group
© ABN 47 065 475 149
LEVEL 6, 3 HORWOOD PLACE
PARRAMATTA NSW. 2150
PH +61 2 9900 7100
SMC PROJECT No. 300178185.5

CLIENT

NSW
GOVERNMENT
Land & Housing
Corporation

PROJECT TITLE
CAMPBELLTOWN CITY COUNCIL
AIRDS STAGE 5 - REDEVELOPMENT
SOIL & WATER
MANAGEMENT DETAILS

SCALE	PHASE	PROJECT / DRAWING No.	REVISION
AS NOTED	PRELIMINARY	300178185.5.DA861	02



Context Plan

Drawing Register

Drawing No.	Drawing Title	Scale	Issue No.
Lo1	Title Sheet	N/A	C
Lo2	Street Tree Hierarchy Masterplan	1:3000	B
Lo3	Streetscape Plan o1	1:500	A
Lo4	Streetscape Plan o2	1:500	B
Lo5	Streetscape Sections	1:50	A
Lo6	Material & Street Tree Planting Palette	N/A	A
Lo7	Indicative Mass Planting Schedule	N/A	A

Legend

Extent of Stage 5 works

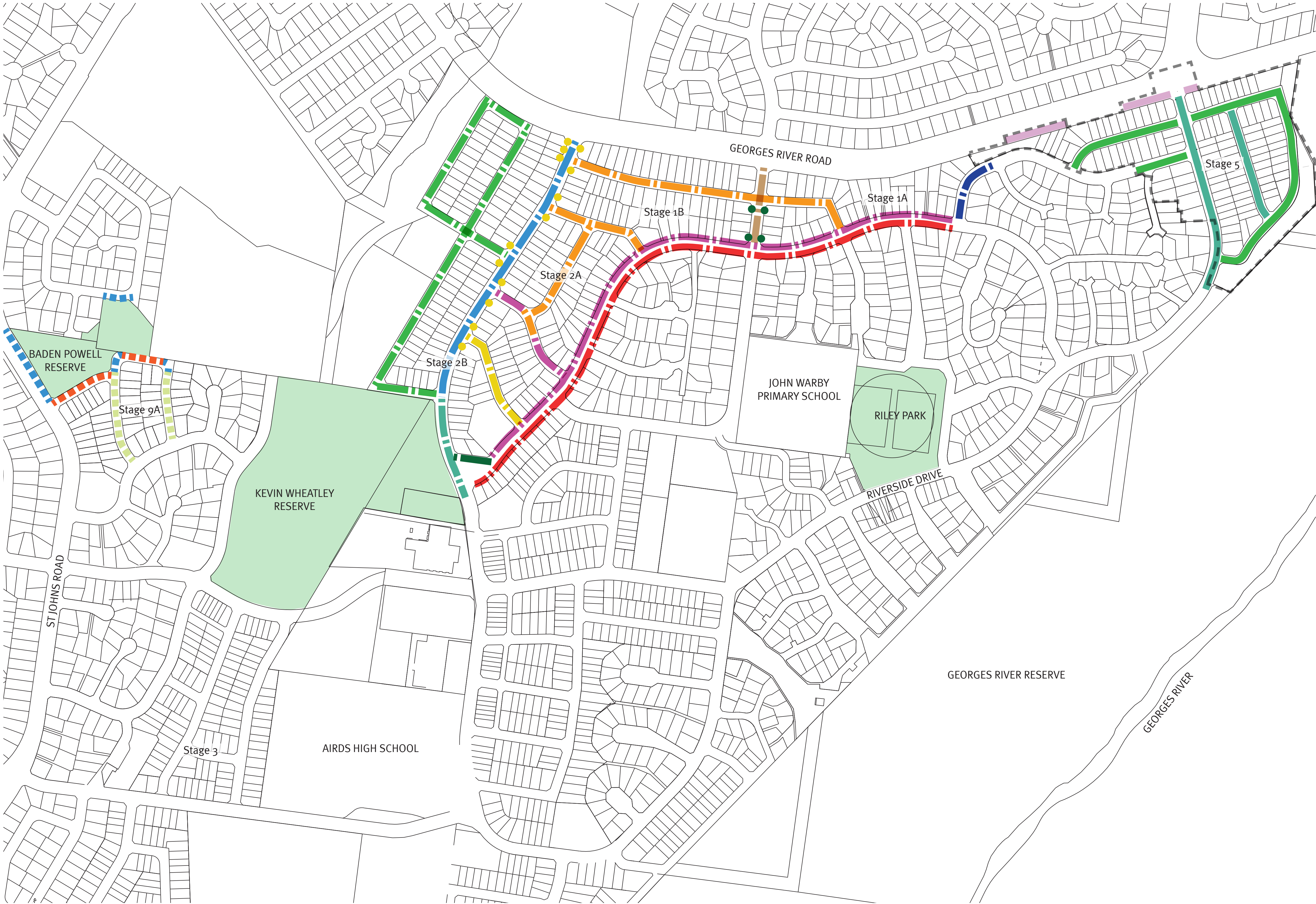
EXISTING SINGLE TREE AT CORNER: (Stage 1 & Stage 2)

EXISTING: (Stage 1 & Stage 2)

PROPOSED:

TO BE DELIVERED AS PART OF SEPARATE STAGES:

- Acer buergerianum / Acmena smithii
- Acer x freemanii 'Jeffersred'
- Angophora bakeri
- Angophora floribunda
- Corymbia eximia
- Cupaniopsis anacardioides
- Eucalyptus punctata
- Eucalyptus crebra
- Eucalyptus tereticornis
- Fraxinus pennsylvanica 'Urbanite'
- Melaleuca decora
- Melaleuca linariifolia
- Syzygium australe



1:3000@ A1

0 30 60 120m

Client



Project Manager



Revisions

Issue	Date	Description
ADV	14.07.23	DA Submission
ADV REV 2	15.09.23	DA Submission
A	16.01.24	DA Submission
B	31.05.24	DA RFI

Drawn	Check
BL	IM
LP	CB
BL	CB/IM
BL	CB/IM

JMD design



190 James Street
Redfern NSW 2016
T (02) 9310 5644
info@jmdesign.com.au

Project
Airds Stage 5
Drawing title
Street Tree Hierarchy Masterplan

Date
July 2025
Scale
1:3000 @ A1 / 1:6000 @ A3

Drawing No.
Lo2
Issue No.
B




Legend

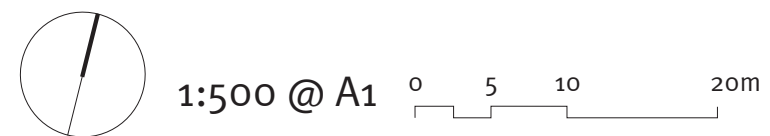
- Extent of works
- Sheet join line
- 5036

5035

Lots layout
- Turf
- Make Good Turf
- Native grasses along shareway
- Extent of continuous structural soil tree pit along and under shareway
- Concrete footpath
1.2m-2m wide
- Indicative driveway location
- Stormwater line and pits
Refer Civil Engineer's documentation
- Electrical substation
Refer Civil Engineer's documentation
- Existing Trees to be retained
Refer Arborist & Civil Engineer's documentation
- Existing Trees to be removed
Refer Arborist & Civil Engineer's documentation

Indicative Street Tree Schedule

Sym	Botanical Name	Common Name	Height & Spread @ Maturity	Install Pot Size
Street Tree Planting				
Local Road - Road 01, Road 02, Road 05				
	<i>Corymbia eximia</i>	Yellow Bloodwood	7x5	75L
	<i>Eucalyptus punctata</i>	Grey Gum	12x8	75L
	<i>Eucalyptus tereticornis</i>	Forest Red Gum	20x12	75L



Streetscape Plan 01



Client



Project Manager



Revisions

Issue	Date	Description
ADV	14.07.23	DA Submission
ADV REV 2	15.09.23	DA Submission
A	16.01.24	DA Submission

Drawn	Check
BL	IM
LP	CB
BL	CB/IM

JMD design



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Project
Airds Stage 5
Drawing title
Streetscape Plan 01

Date
July 2025
Scale
1:500 @ A1 / 1:1000 @ A3

Drawing No.	Issue No.
L03	A

Legend

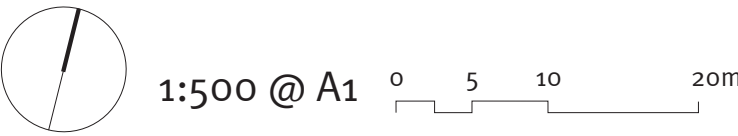
- Extent of works
- Sheet join line
- 5036

5035

Lots layout
- Turf
- Make Good Turf
- Mass Planting to 1:4 batter - Native Grasses
- Existing Bushland to be retained
- Concrete footpath
1.2m wide
- Concrete service access path
4m wide
- Indicative driveway location
- Stormwater line and pits
Refer Civil Engineer's documentation
- Bio-Retention basin & GPT
Refer Civil Engineer's documentation
- Sandstone retaining wall
Refer Civil Engineer's documentation
- Electrical substation
Refer Civil Engineer's documentation
- Existing Trees to be retained
Refer Arborist & Civil Engineer's documentation
- Existing Trees to be removed
Refer Arborist & Civil Engineer's documentation
- Post and Cable Fence
- Future Koala Fence & Gate Indicative Alignment -
Work by others

Indicative Street Tree Schedule

Sym	Botanical Name	Common Name	Height & Spread @ Maturity	Install Pot Size
Street Tree Planting				
Local Road - Road 02, Road 03, Road 04				
	Corymbia eximia	Yellow Bloodwood	7x5	75L
	Eucalyptus crebra	Narrow-leaved Ironbark	11x8	75L
	Eucalyptus punctata	Grey Gum	12x8	75L
	Eucalyptus tereticornis	Forest Red Gum	20x12	75L



Streetscape Plan 02



Client



Project Manager

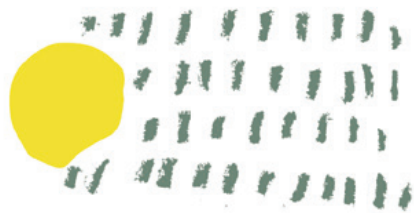


Revisions

Issue	Date	Description
ADV	14.07.23	DA Submission
ADV REV 2	15.09.23	DA Submission
A	16.01.24	DA Submission
B	03.07.25	DA Submission

Drawn	Check
BL	IM
LP	CB
BL	CB/IM
YZ	CB

JMD design

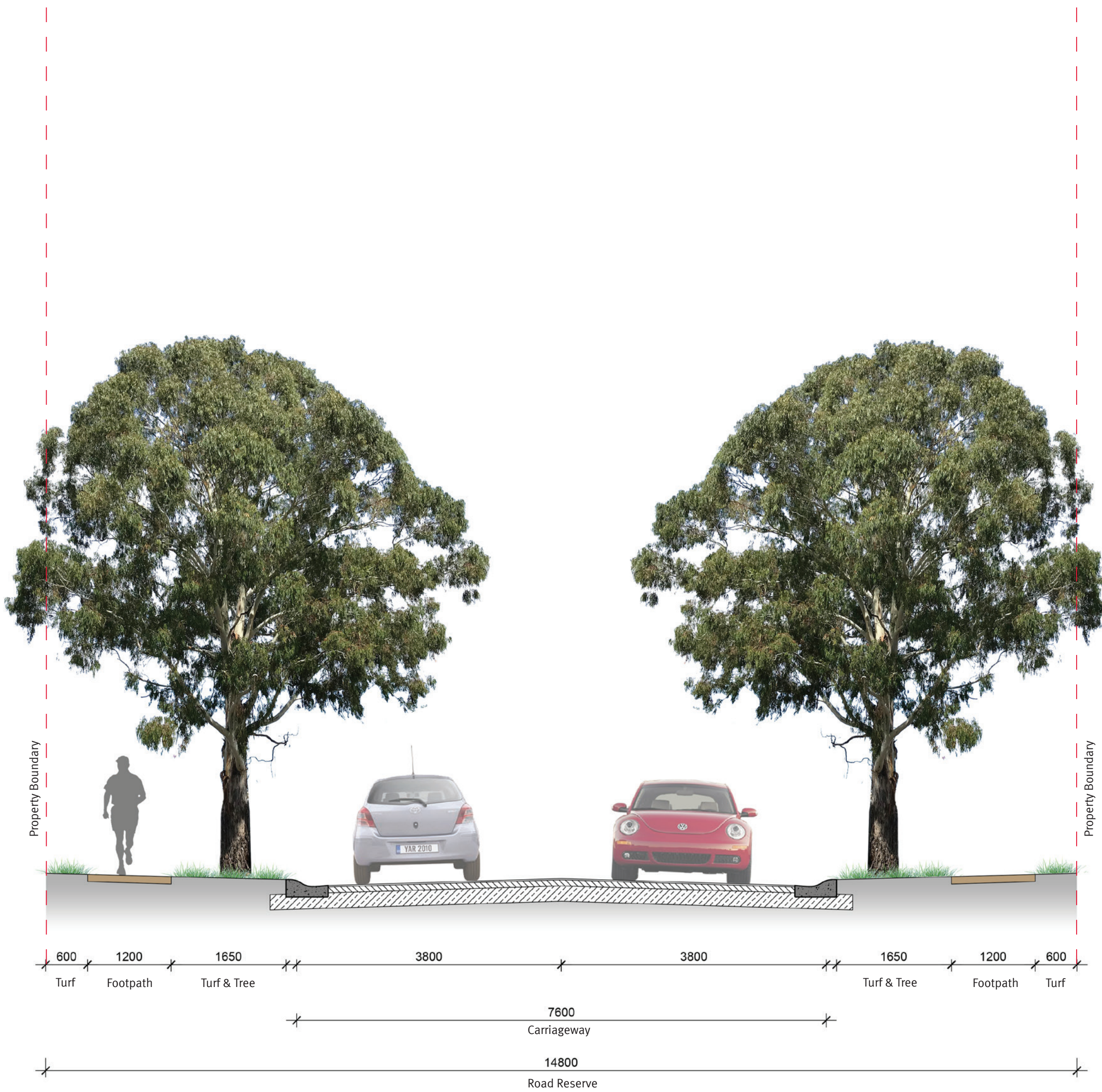


190 James Street
Redfern NSW 2016
T (02) 9310 5644
info@jmdesign.com.au

Project
Airds Stage 5
Drawing title
Streetscape Plan 02

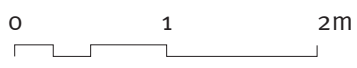
Date
July 2025
Scale
1:500 @ A1 / 1:1000 @ A3

Drawing No. Issue No.
Lo4 B



Section A - Road 05 Reserve
1:50 @ A1 / 1:100 @ A3

1:50 @ A1



Section B - Road 02 Reserve
1:50 @ A1 / 1:100 @ A3

1:50 @ A1



Indicative Materials Palette



Footpath with turf



Concrete Paving with broom finish







Native grass batter



Native grass tree pit



Post and cable fence

		Botanical Name	Common Name	Photos	Mature Dimensions		Seasonal / Special Features	Preferred Soil Conditions	Drought / Frost Tolerance	Pest & Disease Susceptibility	Maintenance Requirement	Availability	Nuisance	Longevity/ Growth Rate	Root Damage Potential	Branch Shedding	Solar Access
					Height	Spread											
Airds Bradbury Stage 5 Street Tree Planting	Local Road Trees	<i>Corymbia eximia</i>	Yellow Bloodwood		7m	5m	Glaucous green foliage, large panicles of white flowers in spring. Attractive yellow flaky bark.	Prefers dry or well drained slopes on Sandstone soils with westerly aspect. Will not tolerate waterlogged or wet soils.	Tolerant of low temperatures to minus 2°C. Prefers a full sun exposed situation.	No known susceptibility to any specific pests or diseases.	Moderate watering during establishment. May require formative pruning to ensure dev. of a single trunk.	Readily available from nurseries specializing in native plants.	Periodic leaf fall and shedding of small dead branchlets during extremely dry conditions.	Moderate life – 30 years plus in urban areas. Moderate.	Root system is not considered to be extensive or overly vigorous.	No known susceptibility to branch shedding.	Evergreen – not suitable where solar access in winter is required.
		<i>Eucalyptus crebra</i>	Narrow-leaved Ironbark		11m	8m	Coarse dark grey furrowed bark. Clusters of fragrant, white flowers appear in late spring to summer.	Prefers higher slopes and undulating land on heavy clay soils.	Tolerant of extended dry periods.	Powdery Mildew.	Frequent dead wooding required.	Specialist native nurseries only - not generally available in commercial nurseries.	Leaf drop.	Long-lived – 50 years plus in urban areas. Fast.	Root system is not considered to be extensive or overly vigorous.	No known susceptibility to branch shedding.	Evergreen – not suitable where solar access in winter is required.
		<i>Eucalyptus punctata</i>	Grey Gum		12m	8m	Grey/green dark, glossy foliage. White fluffy flowers during December to February, with woody cup-shaped fruit. Smooth bark that leaves grey, orange and light brown patches when shed.	Prefers well drained sandy to clay soils.	Tolerant of frost. Established trees are drought tolerant.	No known susceptibility to any specific pests or diseases.	Regular watering during establishment. May require formative pruning to ensure development of a single trunk. Frequent dead wooding required.	Generally available from commercial nurseries.	Bark shedding in large plates or flakes.	Long-lived – 50 years plus in urban areas. Fast.	Root system is not considered to be extensive or overly vigorous.	No known susceptibility to branch shedding.	Evergreen.
		<i>Eucalyptus tereticornis</i>	Forest Red Gum		20m	12m	Leaves are the same shade of green on both sides, lance-shaped to curved. smooth trunk surface coloured in patches of white, grey and blue, corresponding to areas that shed their bark at different times.	Prefers well drained sandy to clay soils.	Tolerant of frost. Established trees are drought tolerant.	No known susceptibility to any specific pests or diseases.	Regular watering during establishment. May require formative pruning to ensure development of a single trunk.	Readily available from nurseries specializing in native plants.	Bark shedding in large plates or flakes.	Long-lived – 50 years plus in urban areas. Fast.	Root system is not considered to be extensive or overly vigorous.	No known susceptibility to branch shedding	Evergreen.



Austrostipa scabra



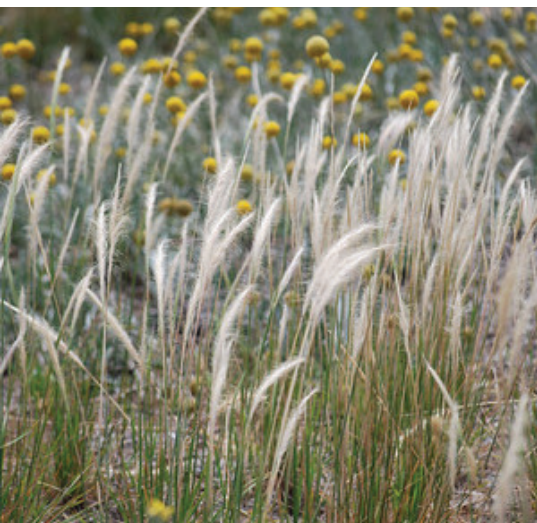
Bothriochloa macra



Chloris truncata



Dianella caerulea



Dichelachne crinita



Dichelachne micrantha



Entolasia marginata



Eragrostis leptostachya



Imperata cylindrica 'Yalba'



Lomandra filiformis



Lomandra longifolia



Lomandra multiflora



Microlaena stipoides



Poa labillardieri



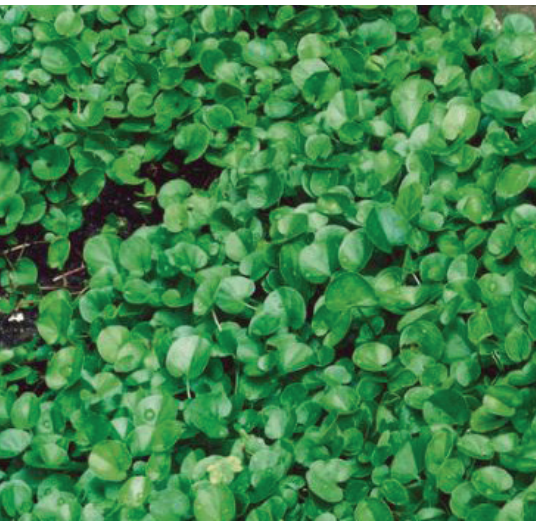
Rytidosperma caespitosum



Themeda triandra



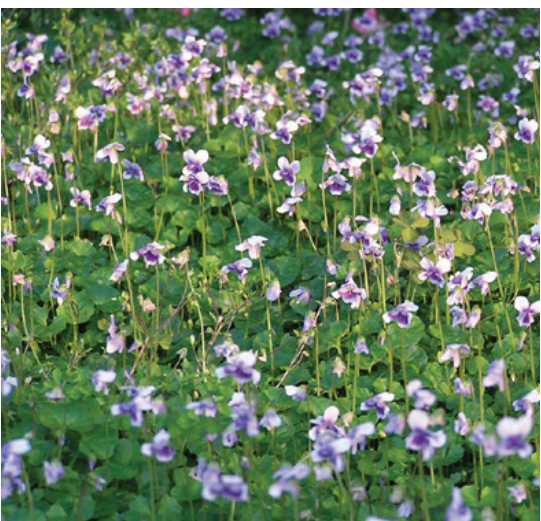
Commelina cyanea



Dichondra repens



Einadia hastata



Viola hederacea



Glycine tabacina



Goodenia ovata



Hardenbergia violacea



Hibbertia scandens

Indicative Mass Planting Schedule

Botanical name	Common name	Height	Pot size
Grasses			
Austrostipa scabra	Rough Spear-grass	0.8m	50 x 50 x 90mm
Bothriochloa macra	Red Grass	1m	50 x 50 x 90mm
Chloris truncata	Windmill Grass	0.5m	50 x 50 x 90mm
Dianella caerulea	Blue Flax-Lily	1m	50 x 50 x 90mm
Dichelachne crinita	Longhair Plume Grass	1.5m	50 x 50 x 90mm
Dichelachne micrantha	Shorthair Plume Grass	0.4m	50 x 50 x 90mm
Entolasia marginata	Bordered Panic	0.4m	50 x 50 x 90mm
Eragrostis leptostachya	Paddock Lovegrass	0.4m	50 x 50 x 90mm
Imperata cylindrica 'Yalba'	Yalba Imperata	0.4m	50 x 50 x 90mm
Lomandra filiformis	Wattle Mat Rush	0.5m	50 x 50 x 90mm
Lomandra longifolia	Spiny-head Mat Rush	0.5m	50 x 50 x 90mm
Lomandra multiflora	Many-flowered Mat Rush	0.6m	50 x 50 x 90mm
Microlaena stipoides	Weeping Grass	1m	50 x 50 x 90mm
Poa labillardieri	Common Tussock-grass	1.2m	50 x 50 x 90mm
Rytidosperma caespitosum	Wallaby Grass	1m	50 x 50 x 90mm
Themeda triandra	Kangaroo Grass	0.5m	50 x 50 x 90mm
Herbs			
Commelina cyanea	Scurvy Weed	0.5m	50 x 50 x 90mm
Dichondra repens	Kidney Weed	0.2m	50 x 50 x 90mm
Einadia hastata	Berry Saltbush	0.7m	50 x 50 x 90mm
Viola hederacea	Native Violet	0.2m	50 x 50 x 90mm
Groundcovers			
Glycine tabacina	Variable Glycine	0.3m	140mm
Goodenia ovata	Hop Goodenia	0.2m	140mm
Hardenbergia violacea	Purple Coral Pea	0.5m	140mm
Hibbertia scandens	Climbing Guinea Flower	0.5m	140mm